

# DEVELOPMENT MANAGEMENT COMMITTEE 20<sup>th</sup> MAY 2024

**Case No:** 23/01948/FUL

**Proposal:** Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)

**Location:** Land East Of Ivy Way, Spaldwick

**Applicant:** Blenheim Land And Homes Ltd

**Grid Ref:** 513245 272619

**Date of Registration:** 23.10.2023

**Parish:** Spaldwick

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## RECOMMENDATION - APPROVE

**This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as the Parish Council's recommendation of refusal is contrary to the officer recommendation of approval.**

### 0. UPDATE

- 0.1 This application was presented to members of the DMC on the 22<sup>nd</sup> April 2024 with officer recommendation of approval. Following a lengthy discussion regarding the application, officers recommended to defer the item to include the Environment Agency to be part of the discussion about flood risk and drainage. It should be noted that members agreed with the deferral recommended by officers but also requested officers to revisit the highway safety element of the proposal due to the site being located between the village and the exit from the A14, and the parking of HGV's near the proposed site access.
- 0.2 Comments have been provided by the EA these are referenced and evaluated in the report below.
- 0.3 The vast majority of the report remains unchanged from the report published on the 22<sup>nd</sup> April 2024 DMC agenda.
- 0.4 The following sections of the report have been amended to take into account paragraphs 0.1 and 0.2 of the updated report:
  - Addition of EA comments on paragraph 5.20.

- Flood risk section paragraphs 7.32 - 7.34 updated with Environment Agency comments and assessment.
- Paragraphs 7.113 and 7.114 have been updated to include Highway Safety considerations.

0.5 In summary it is concluded that both flood risk, drainage and highway safety impacts remain acceptable in this instance and the officer recommendation to approve the proposal subject to conditions and Section 106 Legal Agreement has not changed.

## **1. DESCRIPTION OF SITE AND APPLICATION**

### Site and surrounding area

- 1.0 The site lies east of the main built-up area of Spaldwick and as defined in the Huntingdonshire Local Plan to 2036 (2019), is located within the open countryside.
- 1.1 The site is broadly rectangular in shape and covers an area of approximately 0.81 hectares, comprising of an open agricultural field with a public right of way (footpath 12) running north-south at an angle through the site.
- 1.2 The site is bordered by trees on its western side with a drain and ditch running north to south and the rear of residential dwellings beyond on Ivy Way.
- 1.3 To the south lies open agricultural land. The east the site is bound by a drain and ditch running north to south with open countryside beyond.
- 1.4 The site fronts Spaldwick High Street to the north, and features an existing access to the north-west, with trees and hedging leading eastwards with a drain and ditch running east-west which is interrupted by the site access.
- 1.5 On the opposite side of the site is a pumping station, a cul-de-sac with 5 dwellings and a service station.
- 1.6 Access to the site is from High Street to the north. This access sits approximately 136 metres from the junction where the High Street meets Thrapston Road and both slip roads serving exits and entrances to and from the A14. The access is approximately 56m from the entrance to the service station and approximately 27m from the cul-de-sac entrance to the north.
- 1.7 The field that comprises the site and the open land to the south and east are classified as Grade 3 agricultural land.
- 1.8 The site abuts the Spaldwick Conservation area on its northern western side and there are no listed buildings or other designated heritage assets within close vicinity of the site (Grade

II Listed Building Ivy House is approximately 120 metres west from the application site and 123m from 38 High Street to the east).

- 1.9 The site lies within Flood Zone 1 on the Environment Agency Maps for Flooding and on the Council's Strategic Flood Risk Assessment maps but is at a low to medium risk of surface and groundwater flooding and is shown in the SFRA to be susceptible to flooding during 1 in 1000- year flood events.

### Proposal

- 1.10 Planning permission is sought for the Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL).
- 1.11 All dwellings proposed will be affordable homes, predominantly First Homes supported with a mix of other affordable tenures (Shared Ownership and Affordable Rent).
- 1.12 Submitted plans show the proposed 15 dwellings to be comprised of 1 x 1-bedroom dwelling, 10 x 2-bedroom dwelling and 4 x 3-bedroom dwellings.
- 1.13 Of these, 7 would be First Homes, 3 would be Shared Ownership and 5 would be Affordable Rent. All dwellings meet the Nationally Described Space Standards. The layout includes 10 x two-story semi-detached dwellings and 5 x detached dwellings (3 of those detached are bungalows).
- 1.14 The existing access to the site from High Street is moving slightly to the east to accommodate the required visibility splays. A 2m-wide footway is proposed on both sides into the site with the west side connecting to the existing Ivy Way footpath and the east side providing a dropped kerb to enable access to the opposite side of the road.
- 1.15 The layout of the site is defined by a perimeter road with the proposed dwellings fronting this perimeter road with their gardens facing towards the centre of the site. The road into the site would be constructed of tarmac, leading into a shared surface for the remainder of the loop for the perimeter block. The scheme includes 2 on-plot parking spaces to each dwelling. In addition, 4 visitor parking bays are located within the proposed site. Each dwelling also includes on-plot space for secure cycle storage and bin storage.
- 1.16 The north, east and southern boundaries have a green buffer zone and the eastern and northern sides features a drain. The western boundary also has a green buffer zone but is also defined by a drainage exclusion zone. The proposal includes a diversion of the northern entrance of the public footpath which

runs north-south through the site, which is currently under review by Cambridgeshire County Council as an application to divert the public right of way has now been submitted. This diversion would run north-south through a proposed landscape walk on the west of the site. Some visitor parking spaces are proposed on the outside of the perimeter road on the north and south boundaries.

- 1.17 The proposed dwellings would have pitched roofs with a maximum ridge height of 8.47m for the two storey dwellings and 5.57 metres maximum metres for the bungalows. All dwellings would be constructed of a mix of brick, painted brick and render with concrete tiles.

### Background

- 1.18 In 2020, pre-application advice was sought for residential development on the site but included land further to the south for the provision of 38 dwellings, which was deemed largely acceptable as a Rural Exceptions scheme (HDC Local Plan Policy LP28) subject to details including drainage details and a Local Housing Needs Survey (HNS). At the time of advice, this HNS had not been produced (the Spaldwick HNS was produced in 2021).
- 1.19 In 2022, an application was received by the Local Planning Authority for Construction of 20 no. First Homes dwellings with associated access, car parking and landscaping. This application comprised a mixture of 10 two bedroomed houses and 10 three bedroomed houses which was subsequently withdrawn due to objections from the Council's Policy and Enabling Officer and Planning Policy Officer on the basis that the proposal was contrary to national First Homes criteria, the HDC's Housing Needs of Specific Groups document (2021) and the Housing Need Survey Report for Spaldwick. There were also concerns raised by Huntingdonshire District Council Urban Design team, Cambridgeshire County Highways Officer and Public Rights of Way Officer.
- 1.20 Subsequently, a further application was submitted in 2023 for 15 dwellings and was refused due to insufficient highways information, inadequate surface water drainage details and failed to demonstrate enhancement of the existing Public Footpath No.12 Spaldwick and fails to separate the public footpath from streets, contrary to Cambridgeshire Rights of Way Improvement Plan (2016).
- 1.21 This current proposal is considered to address concerns raised in previous applications adequately so that the proposal is acceptable, subject to conditions and a Section 106 legal agreement.

- 1.22 Design amendments have been introduced, including a reduction of the number of affordable dwellings from 20 to 15; an amendment to a perimeter block; an increase of planting; the addition of a landscape walk into the green buffer zone to the east of the site; Creation of corner plots to be visually interesting; inclusion of a shared surface to part of the road; an inclusion of a mix of affordable tenures rather than a solely First Homes site (Shared Ownership and Affordable Tenure) and the introduction of bungalows (3 of the 15 units).
- 1.23 This current application also confirms that it is seeking to divert the Public Right of Way (footpath 12), which was originally objected to by Cambridgeshire Definitive maps Team which can now be resolved by condition.
- 1.24 Furthermore, the applicant has submitted the required and relevant flood risk and drainage information sought by the relevant technical consultees which has been deemed acceptable subject to conditions.
- 1.25 Additionally, the Cambridgeshire County Highways officer has removed their objection and now support the proposals subject to a Section 106 contribution and planning conditions.
- 1.26 Over the course of the application, additional highways and drainage information was submitted and accepted by the Local Planning Authority and formal consultation was carried out with both the Lead Local Flood Authority and Cambridgeshire County Highways team.
- 1.27 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

## **2. NATIONAL GUIDANCE**

- 2.1 The National Planning Policy Framework (19<sup>th</sup> December 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
  - building a strong, competitive economy;
  - achieving well-designed, beautiful and safe places;
  - conserving and enhancing the natural, built and historic environment

- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

### **3. PLANNING POLICIES**

#### 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- Policy LP1 - Amount of Development
- Policy LP2 - Strategy for Development
- Policy LP3 – Green Infrastructure
- Policy LP4 - Contributing to Infrastructure Delivery
- Policy LP5 - Flood Risk
- Policy LP6 - Waste Water Management
- Policy LP9 – Small Settlements
- Policy LP10 – The Countryside
- Policy LP11 - Design Context
- Policy LP12 - Design Implementation
- Policy LP14 - Amenity
- Policy LP15 - Surface Water
- Policy LP16 - Sustainable Travel
- Policy LP17 - Parking Provision and Vehicle Movement
- Policy LP24 - Affordable Housing Provision
- Policy LP25 - Housing Mix
- Policy LP28 - Rural Exceptions Housing
- Policy LP30 - Biodiversity and Geodiversity
- Policy LP31 – Trees, Woodland, Hedges and Hedgerows
- Policy LP34 - Heritage Assets and their settings

#### 3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document 2017
- Developer Contributions SPD 2011
- Huntingdonshire Landscape and Townscape Assessment (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2017)
- Cambridgeshire Flood and Water SPD 2017
- LDF Developer Contributions SPD (2011)
- Annual Monitoring Review regarding housing land supply (2021)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

#### 3.3 The National Design Guide (2021)

- C1 - Understand and relate well to the site, its local and wider context
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- B2 - Appropriate building types and forms
- M3 - Well-considered parking, servicing and utilities infrastructure for all users

- H1 - Healthy, comfortable and safe internal and external environment
- H2 - Well-related to external amenity and public spaces
- H3 - Attention to detail: storage, waste, servicing and utilities

For full details visit the government website [Local policies](#)

#### **4. PLANNING HISTORY**

- 4.1 22/01167/FUL for Construction of 20 no. dwellings with associated access, car parking and landscaping, WDN dated 10.02.2023.
- 4.2 23/00649/FUL for Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 22/01167/FUL), REF dated 12.07.2023.

#### **5. CONSULTATIONS**

- 5.1 Spaldwick Parish Council – Recommends refusal of the application. Full comments:

Councillors believe the objections initially submitted by The Parish Council to the application still apply to the recent documents added on the planning portal, namely: flood risk of the area (recent flooding, impact from the Ellington Brook & the ineffective valve, nearby ditches not regularly cleared, the natural downhill slope of the site and it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh surface (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact that it is outside the village boundary so contradicts the HDC Local Plan.

- 5.2 National Highways – No objections. Summary comments:

We have undertaken a review of the relevant documents supporting the planning application to ensure compliance with the current policies of the Secretary of State as set out in DfT Circular 01/2022 “The Strategic Road Network and the delivery of Sustainable Development” and the National Planning Policy Framework (NPPF). This response represents our formal recommendations with regard to planning application 23/01948/FUL.

Due to the scale of the proposed development, it is considered unlikely to have a severe impact on the Strategic Road Network. Consequently, we offer no objection to this application.

- 5.3 Rights of Way Officer - Objects to the proposal in the event the public footpath is subsumed into the proposed pavement/private road with a new surface. Should the Public Right of Way be

diverted, the Rights of Way Officer recommends a condition for a public right of way scheme and informatives relating to the ongoing provision of the Public Right of Way.

- 5.4 Cambridgeshire Fire – No objection but recommends that adequate provision be made for fire hydrants which may be by way of Section 106 agreement or planning condition.
- 5.5 Cambridgeshire Police – No objections. Notes that the proposed location is an area of medium risk to the vulnerability to crime and suggests the following is included within the scheme: External lighting, cycle parking / storage, private gates, landscaping and footpaths / public open spaces.
- 5.6 Historic England – No comment. Comments:

In this case we are not offering advice. This should not be interpreted as comment on the merits of the application. We suggest that you seek the views of your specialist conservation and archaeological advisers. You may also find it helpful to refer to our published advice at:

<https://historicengland.org.uk/advice/find/>

- 5.7 Cambridgeshire County Highways – No objection subject to conditions and informatives. Summary comments:

The application is for the construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 22/01167/FUL and 23/00649/FUL).

The proposal is for 5 fewer dwellings than the first application (22/01167/FUL) with the access moved slightly in a westerly direction. I would reiterate our previous comments as follows with the additional comments regarding the footway and dropped kerbs:-

That proposed is for the development of 15 dwellings on the entrance to the village of Spaldwick. The vehicle movements associated with that proposed could not be considered as significant against the background flows and the flows from the A14 with peak time movements being circa 10 movements within the peak hours or 1 every 6 minutes. Therefore, capacity could not be considered an issue. I also note the following:

- The access is situated within the 30mph section of highway and 2.4m x 43m have been indicated, which meets with criteria. It should be noted that the actual splays available are greater than those indicated with 2.4m x 176m towards the A14 and circa 2.4m x 88m towards the village.



- The Transport Statement indicates a road width of 5m footway width of 2m and radii of minimum of 6m which accords with adopted criteria for a development of this size, although it is indicated that the site will remain private.
- An amended plan is submitted increasing the area of drain culverting to allow the connecting footways in each direction. The culverting of the ditch will require LLFA permission.
- Refuse tracking for the internal network has been provided, as the road is not proposed to be adopted the LPA should be satisfied that their operations team have no objections to that proposed. Access geometry to the public highway is similar to many existing developments and is therefore acceptable.

Whilst the access is indicated to have acceptable visibility for the site access it has been reported that HCV parking sometimes reaches the proposed site access, therefore blocking the available visibility.

Whilst I could not recommend refusal because of this possible issue (as it forms part of the adopted highway and is not a designated parking area) the applicant should be requested for a section 106 contribution to protect the required splays should this become an issue, post development. This would be achieved by the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station.

Following a careful review of the documents provided to the Highway Authority as part of the above planning application, the effect of the proposed development upon the Public Highway should be mitigated if the following conditions are appended to any consent given in the interest of highway safety:

- Proposed arrangements for future management and maintenance of the proposed streets within the development have been submitted to and approved in writing by the Local Planning Authority. (Pre-commencement condition).
- Vehicular access width.
- That the access where it crosses the public highway shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification.
- That the crossing of the ditch / watercourse along the frontage of the site shall be constructed in accordance with a scheme to be submitted to and agreed in writing with the Local Planning Authority. (Pre-commencement condition).
- That the proposed on-site parking / servicing and turning area shall be laid out, demarcated, levelled, surfaced and drained

in accordance with the approved plan and thereafter retained for that specific use.

- That temporary facilities shall be provided clear of the public highway for the parking, turning, loading and unloading of all vehicles visiting the site during the period of construction.
- That the proposed use visibility splays shall be provided each side of the vehicular access in full accordance with the details indicated on the submitted plan No 0025-100 rev 18. The splays shall thereafter be maintained free from any obstruction exceeding 0.6m above the level of the adjacent highway carriageway.
- Prior to the first occupation of the development the junction of the access with the highway carriageway shall be laid out with 6m radius kerbs.
- Access drainage measures
- A metalled surface along the access road
- That a route for all traffic associated with the construction of the development (or associated with the use of the site) has been provided and approved in writing to the satisfaction of the Local Planning Authority together with proposals to control and manage traffic using the agreed route and to ensure no other local roads are used by construction traffic (or site traffic) (Pre-commencement condition).
- That the offsite highway improvement works based on drawing 0025-100 rev 18 shall be completed to the written satisfaction of the Local Planning Authority.

#### Informatives:

- Guidance notes for Construction Traffic Management Plan
- Guidance notes for Movement and Control of Muck-away and Delivery Vehicles
- Guidance notes for Contractor parking
- Guidance notes for Control of Dust, Mud and Debris
- This development involves work to the public highway that will require the approval of the County Council as Highway Authority. It is an OFFENCE to carry out any works within the public highway, which includes a public right of way, without the permission of the Highway Authority. Please note that it is the applicant's responsibility to ensure that, in addition to planning permission, any necessary consents or approvals under the Highways Act 1980 and the New Roads and Street Works Act 1991 are also obtained from the County Council. Public Utility apparatus may be affected by this proposal. Contact the appropriate utility service to reach agreement on any necessary alterations, the cost of which must be borne by the applicant.
- The applicant is advised that the Local Planning Authority requires a copy of a completed agreement between the Applicant and the Local Highway Authority under Section 38 of the Highways Act 1980 or the constitution and details of a Private Management and Maintenance Company confirming funding, management and maintenance regimes.

- The offsite works indicated within this application will require the applicant to enter a short form 278 agreement with the Highway Authority.
- Cambridgeshire County Archaeologist – No objections subject to a pre-commencement condition relating to archaeological investigation an informatives relating to the condition.

5.8 Internal Drainage Board – No comment. Response:

This development does not meet the agreed criteria for a comment from this department as it doesn't fall within flood zone 2 or 3 and the developer hasn't provided a flood plan for comment.

5.9 Lead Local Flood Authority– No Objection, subject to conditions relating to a Surface Water Drainage submitted to the Local Planning Authority prior to commencement. The LLFA also recommends informatives relating to pollution control and IDB consent. Summary comments:

The submitted documents demonstrate that surface water from the proposed development can be managed through the use of tanked permeable paving discharging via flow control and flap valve into the existing watercourse to the North of the site, restricting surface water discharge to 2.5l/s. The system can also withstand additional rainfall with no discharge and a closed flap valve without flooding. The LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site it also provides water quality treatment which is of particular importance when discharging into a watercourse. Water quality has been adequately addressed when assessed against the Simple Index Approach outlined in the CIRIA SuDS Manual.

5.10 Natural England - No objections.

5.11 Urban Design Team – No objections subject to conditions. Comments:

The application forms a resubmission of near identical 23/00649/FUL application which was refused due to tracking for waste vehicles (Reason 1), SUDs information (Reason 2) and Public Right of way (Reason 3).

The amendments are limited to the submitted Proposed Site Plan (Rev 0025-100 Rev 17) which extends the section of footpath on the east side of the access further east along the High Street and introduces a dropped kerb on both sides of the High Street to facilitate pedestrian access.

No changes have been made to the submitted elevations or floor plans, as such minor amendments are required to address previous comments raised on the 23/00649/FUL relating to:

- Replace the side secondary bedroom window to Plot 9 with a tax window to avoid overlooking to 10;
- Change plots 1 and 2 to red facing brick to reflect units adjacent and opposite the site.
- Introduce stone cills, brick string coursing and sash windows to Plots 1, 2, and sash windows for plots 5 and 6 to create a more consistent appearance to the High Street and Spine Road and reflect the traditional appearance of existing dwellings within the High Street.

These amendments could be dealt with by way of suitably worded conditions if necessary.

- 5.12 HDC Waste – No response.
- 5.13 HDC Conservation Officer – Objects to the proposals. Summary comments: This development is not in accordance with policy LP 34 of the adopted Huntingdonshire Local Plan and is contrary to the NPPF policies 189 to 208.
- 5.14 HDC Trees Officer – No objections subject to conditions.
- 5.15 HDC Affordable Housing - No Objections.
- 5.16 Anglian Water – No objection, subject to informatives regarding assets affected and the Used Water Network
- 5.17 Cadent Gas – No response.
- 5.18 Environmental Health Officer – No objections subject to conditions relating to a Noise Mitigation Scheme and a Construction Environmental Management Plan.
- 5.19 HDC Ecology Officer – No objections, subject to conditions relating to the submission of a Biodiversity Methods Statement and lighting scheme.
- 5.20 Environment Agency – Full Comments:

Our scope for direct consultation in relation to flood risk matters is restricted to fluvial and tidal flood risk zones. This proposal is located within Flood Zone 1 (low risk), and therefore falls outside our remit so we are unable to make formal comment. However, we have a strategic overview role to support other Risk Management Authorities in their roles.

We have therefore provided advisory comments below which we hope you find useful.

## Sequential Test

You should ensure that the flood risk sequential test is applied to this site. The National Planning Policy Framework (NPPF) and the Planning Practice Guidance (PPG) clearly states that all sources of flood risk should be considered within the Sequential test.

The Flood Map for surface water indicates that the site is at risk of flooding from surface water during a 1 in 1000 event, within some minor ingress of surface water flooding during the 1 in 30 and 1 in 100 events.

The impacts of climate change need to be taken into account during the sequential test. The flood map for surface water does not include an allowance for climate change. Standard practice for fluvial flooding is to utilise the 1 in 1000 flood event as a proxy to estimate the climate change impacts i.e. the 1 in 1000 can be used as a proxy for the 1 in 100 +CC extent. You may want to adopt this approach in respect of surface water flood risk.

The sequential test should be carried out prior to consideration of whether mitigation measures can make a site safe.

## 6. REPRESENTATIONS

6.1 115 Letters of objection were received by the Local Planning Authority relating to this application proposal. These comments are summarised as follows and can be viewed in full on the council's website:

### Principle

- No support in Local Plan for First Homes
- No evidence that there is any local need for First Homes
- 2021 Housing Needs Survey not part of the development plan and is therefore out of date
- No local 'key worker' employment opportunities in the village therefore does not meet the requirements of First Home exemption
- Brownfield sites in district and outside more appropriate, agricultural and greenfield land should be safeguarded
- Starter homes should be located where there are job opportunities and amenities nearby
- HDC has its housing requirement fully allocated
- Proposal is outside the village of Spaldwick so is contrary to Local Plan policy LP9
- Proposal would not meet LP28 (Rural Exceptions Housing) as in an unsustainable location
- Proposal contrary to Spaldwick Action Plan.
- Concern that the proposal is only the beginning phase of wider development surrounding the site as submitted documentation refer to development being 'Phase 1' and the

developer owns surrounding land (as confirmed by the blue line ownership).

- Concern that the proposal would set a precedent for more development in Spaldwick
- Suggestion in application that residents would form their own management company to manage drainage and flooding issues and maintenance is unrealistic
- Not an infill site so contrary to the Huntingdonshire Local Plan as well as HDC having a 5 year housing supply.
- Concern that the proposal reduces greenfield farming land and opportunities for food production
- Not enough services in Spaldwick able to support more homes in Spaldwick (public transport / cycle routes / shop is in service station / village hall / job opportunities / Play areas – residents would have to travel to other locations for wider amenities such as supermarkets, activities for older children, pubs
- Development would cause too much strain on services such as GP surgery, Hinchbrook Hospital, dentists, vets, schools.

#### Flooding and Drainage

- Site and surrounding fields, Ivy Way and High Street also Spaldwick generally experiences surface water flooding regularly, highlighted by the recent flooding on the site in December 2023/January 2024.
- Footpath 12 becomes boggy and pond-like during autumn and winter months so site not appropriate.
- Land slopes towards village and therefore would create flooding issues within the village.
- Increase in built development would increase flooding and drainage issues by reducing natural soak away opportunities.
- Anglian Water Pumping station opposite cannot currently handle existing volume. Although Anglian Water have apparently upgraded the local pumping station with a macerator, sewerage back-up from pumping station into nearby dwellings remains an issue. The proposal would exacerbate these flows and detrimentally impact existing houses as water/sewerage has nowhere else to go but to the existing and proposed dwellings.
- Even after the A14 upgrades, flooding remains a regular issue on the site.
- The butterfly valve is not sufficient for additional development.
- Flooding issues would inevitably worsen given climate change.
- Anglian Water will not invest in long term fix for Spaldwick Pumping Station.
- In the past the petrol station has experienced flooding and the proposal would worsen the situation.
- Spaldwick has clay soil which leads to flooding issues. More development would worsen the situation.

- Concern that ditches on and on houses adjacent to the site already require regular clearing and concern how this would be maintained.
- Site has been intentionally submitted small to avoid drainage consultation.
- Claim that a tanker can be arranged to empty pumping station is untrue: During last flooding event, Anglian Water advised no tankers available.
- Application does not sufficiently address management of surface or foul water.
- Unfair to expect occupants of proposed dwellings to pay to maintain drainage requirements.
- Proposal is intentionally under 1 hectare to avoid need for a full Flood Risk Assessment.
- Placing dwellings on flood risk areas would make them uninsurable / may have difficulty in obtaining mortgages and selling property in the future.

### Design

- Plans fail to define a sufficient heating solution for proposed dwellings.

### Impact to Heritage Assets

- Proposal would detrimentally impact conservation area setting as out of keeping with the conservation area.
- Proposal would detrimentally impact ancient village of Spaldwick.
- Proposal would detrimentally impact historic High Street.

### Residential Amenity

- Noise
  - Buildings would reflect the noise to neighbouring area to an unacceptable level
  - Direct noise impacts to No.1 Ivy Way
  - Residents would be subject to unacceptable noise from A14 and Service Station opposite
  - Public Right of Way amendment would cause noise and disturbance for residents on Ivy Way
  - Noise and disturbance during construction phase
- Light impacts / Loss of light
  - Headlights of vehicles exiting the site at night would face residential properties opposite, interrupting sleep and causing stress
  - Introduction of light pollution from the development
  - Overshadowing to occupants of neighbouring properties
- Air pollution
  - Residents would be subject to unacceptable air pollution from A14 and Service Station opposite
- Loss of Privacy
  - To neighbouring residents on Ivy Way
- Overbearing

- To neighbouring residents, given the proximity to neighbours on Ivy Way
- Concern that the proposal would not provide a clear public benefit to current residents of Spaldwick (cleanliness / Village Hall)

#### Public Right of Way

- Concern that the Public Right of Way would now go through a housing estate, thereby reducing amenity
- Concern that the Public Right of Way repositioning would cause mud issues for residents
- Concern that the proposal would not have access to field adjacent for farming, and therefore suggests more development coming.
- Concern that the proposal claims no objections raised regarding the Public Right of Way which is incorrect as the previous application had objections to the amendment to the Public Right of Way from the PRoW team and neighbour comments.
- Public Right of Way should be safeguarded as it provides village amenity. Development surrounding the ProW would dissuade people from using it.
- Public Right of Way amendment may cause illegal access to gardens on Ivy Way.
- Concern regarding loss of footpath gate
- Proposal would expand Spaldwick into countryside/would reduce green space around the village
- Concern at the loss of greenfield walking route for walkers

#### Parking, Traffic and Highway Safety

- Concern that additional traffic (approximately additional 30 vehicles) from the development would cause accidents
- concern that vehicles leaving A14 approximately 100m from a major slip road are routinely above 30-40mph causing safety risks.
- Speed and volume of traffic must be a consideration given the proximity to the A14 and slip road which is very close to the proposal
- Concern that the fuel garage opposite has vehicles entering and queuing causing significant congestion and safety concerns.
- Concern that the fuel garage exit is used for overnight parking for lorries and HGVs, who reverse in front of fuel station with accidents already happened.
- Concern that people crossing the road to use fuel station would be a safety risk, no provision for safe crossing
- Concern that the surrounding roads to the fuel garage is used for HGV parking for lorries can congestion and visibility safety risks
- Concern that the proposal would conflict with forthcoming A14 improvements
- Proposal would be car reliant due to lack of public transport serving village



- Proposal can only be provided to people who can afford their own transport
- Concern that the proposal would cause damage to roads

#### Impact to Biodiversity and Trees

- Proposal would reduce natural habitats and disrupt established wildlife
- Impact to bats (Red Kites and bats)
- Impact to wild nested snipes
- Concern over the loss of two Ash trees prior to submission of application

## **7. ASSESSMENT**

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.
- 7.4 The main issues to consider as part of this application are:
- Principle of Development
  - Parking Provision, Highway Safety and Traffic Generation
  - Design, Visual Amenity and impact on the surrounding area
  - Residential Amenity
  - Biodiversity
  - Trees
  - Flood Risk and drainage

- Other matters

## Principle of Development

7.5 Policy LP2 of the Huntingdonshire Local Plan to 2036 (the Local Plan) sets out the overarching development strategy for Huntingdonshire through the plan period. The main objectives are to:

- Concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities;
- Direct substantial new development to two strategic expansion locations of sufficient scale to form successful, functioning new communities;
- Provide opportunities for communities to achieve local development aspirations for housing, employment, commercial or community related schemes;
- Support a thriving rural economy;
- Protect the character of existing settlements and recognise the intrinsic character and beauty of the surrounding countryside;
- Conserve and enhance the historic environment; and
- Provide complementary green infrastructure enhancement and provision to balance recreational and biodiversity needs and to support climate change adaptation.

7.6 Some third-party responses (including Spaldwick Parish Council) have raised concern that the proposal is contrary to the Local Plan as Huntingdonshire District Council has met its requirement for 5-year housing supply, that the proposal is in the countryside where greenfield and agricultural land should be safeguarded, is not an infill site and is in an unsustainable location with little amenities nearby and that there is no evidence or need for First Homes in the village. Consequently, it is put forward that the proposal would not meet Local Plan Policies LP9 (Small Settlements), or LP28 (Rural Exceptions Housing). Third parties have also raised that the 2021 Spaldwick Housing Needs Survey is out of date. These concerns are addressed in the proceeding section.

7.7 The proposed development is situated on the eastern edge of Spaldwick which is classified as a small settlement within the Huntingdonshire Local Plan to 2036. Policy LP9 'Small Settlements' of the Local Plan to 2036 sets out that:

*"A proposal that is located within a built-up area of a small settlement will be supported where the amount and location of development proposed is sustainable in relation to the:*

*a. Level of service and infrastructure provision within the settlement;*

- b. Opportunities for users of the proposed development to access everyday services and facilities by sustainable mode of travel including walking, cycling and public transport:*
- c. Effect on the character of the immediate locality and the settlement as a whole.*

*Development Proposals on Land well-related to the Built-up Area: A proposal for development on land well-related to the built-up area may be supported where it accords with the specific opportunities allowed for through other policies of this plan.”*

- 7.8 The Local Plan to 2036 sets out guidance for assessing whether a site is situated within or outside the built-up area on pages 52-55. The site is not considered to be within the built-up area as it is not within a distinct group of buildings more than 30 or more homes and is open on its northern western and southern boundary. Specifically, the proposal is defined as an exclusion of the built-up area by virtue of its open space character which is not well contained by strong boundary features and provides a visual buffer between the built form and the countryside and primarily relates to the countryside rather than built development. Therefore, the site is considered to be outside of the built-up area but given its close proximity to the village and services in Spaldwick, is considered to be well-related to the built-up area. Therefore, the proposal may be supported where it accords with the specific opportunities allowed for through other policies of the Local Plan.
- 7.9 As the site is considered to be within the countryside, policy LP10 of the Local Plan to 2036 is relevant. This Policy states:
- 7.10 *“Development in the countryside will be restricted to the limited and specific opportunities as provided for in other policies of this plan. All development in the countryside must:*
- a. seek to use land of lower agricultural value in preference to land of higher agricultural value:*
    - i. avoiding the irreversible loss of the best and most versatile agricultural land (Grade 1 to 3a) where possible, and*
    - ii. avoiding Grade 1 agricultural land unless there are exceptional circumstances where the benefits of the proposal significantly outweigh the loss of land;*
  - b. recognise the intrinsic character and beauty of the countryside; and*
  - c. not give rise to noise, odour, obtrusive light or other impacts that would adversely affect the use and enjoyment of the countryside by others.”*
- 7.11 The site is classified as Agricultural Land Class Grade 3 which is considered low in terms of versatile and best land, and so has the capacity to be in accordance with LP10 (a). Criterion b and c

are addressed elsewhere in this report but is accepted that the proposal has capacity to meet these requirements.

- 7.12 Explanatory paragraph 4.110 of LP10 policy also limits development in the countryside to those limited and specific opportunities provided for in policies LP19 Rural Economy, LP20 Homes for Rural Workers, LP22 Local Services and Community Facilities, LP23 Tourism and Recreation and LP28 Rural Exceptions Housing.
- 7.13 The proposal is for 'First Homes', an affordable housing provision that was introduced in 2021 via a Written Ministerial Statement (WMS) and updates to the Planning Practice Guidance (PPG) intended to help first time buyers get on the property ladder.
- 7.14 Planning Practise Guidance (PPG) puts forward the following qualifying criteria for First Homes:
- a) [They] must be discounted by a minimum of 30% against the market value;
  - b) are sold to a person or persons meeting the First Homes eligibility criteria (as set out in the PPG);
  - c) on their first sale, [They] will have a restriction registered on the title at HM Land Registry to ensure this discount (as a percentage of current market value) and certain other restrictions are passed on at each subsequent title transfer; and,
  - d) after the discount has been applied, the first sale must be at a price no higher than £250,000.
- 7.15 Comments have been raised by third parties regarding the lack of Local Plan policy support for First Homes. The First Homes scheme was introduced by Government after the adoption of the Local Plan. There is however, a First Homes Statement which is available on the Council's website. The Huntingdonshire First Homes Statement (2022) (HFHS) notes that Huntingdonshire District Council is intending to use the national criteria for First Homes until such time as appropriate evidence to support local criteria is available. Therefore, HDC are not intending to adopt a local lower market discount, lower value cap or lower household income threshold than set out in government guidance.
- 7.16 The HFHS also states that the WMS and PPG allows local authorities to apply local connection criteria to First Homes without the need to provide supporting evidence as First Homes are intended to allow people to get on the housing ladder in their local area. The local connection criteria that will apply to First Homes sold in Huntingdonshire is set out in Appendix 1 of the HFHS. The local connection criteria will apply via a Section 106 Agreement upon the first and every successive sale of a First Homes, although the criteria will be lifted after three months from when the home is first marketed if the home has not been reserved or sold. If a suitable buyer has not reserved a home

after 3 months, the eligibility criteria (including income caps) will revert to the national criteria set out in the PPG, to widen the consumer base.

- 7.17 The Council's adopted planning policy for affordable housing in Huntingdonshire is set out in Section 7 Strengthening Communities of the Local Plan to 2036. Specifically, Policy LP24 (Affordable Housing Provision) states:

*"In order to assist in meeting the identified local need for additional affordable homes, a proposal which includes housing development will be required to provide a range of affordable housing types, sizes and tenures. These should be appropriate to meet the requirements of the local community taking into account the latest evidence from the Housing Register. The affordable housing provision may include specialist or supported housing where an identified need exists, the Cambridge sub-region Strategic Housing Market Assessment and other local sources. The affordable housing provision may include specialist or supported housing where an identified need exists. A proposal will be supported where:*

- a. it delivers a target of 40% affordable housing on a site where 11 homes or 1,001m<sup>2</sup> residential floorspace (gross internal area) or more are proposed;*
- b. it provides approximately 70% of the new affordable housing units as social or affordable rented properties with the balance made up of other affordable tenures;*
- c. affordable housing is dispersed across the development in small clusters of dwellings; and*
- d. it ensures that the appearance of affordable housing units is externally indistinguishable from that of open market housing.*

*Where it can be demonstrated that the target is not viable due to specific site conditions or other material considerations affecting development of the site an alternative dwelling or tenure mix or a lower level of provision may be supported. Preference will be given to amending the tenure mix; only if this is still demonstrated not to be viable will consideration be given to reducing the affordable housing requirement.*

*A development viability assessment may be required to support an alternative mix or level of affordable housing provision. In exceptional circumstances it may be appropriate to accept off-site provision and/or commuted payments where this would offer an equivalent or enhanced provision of affordable housing."*

- 7.18 The proposal is comprised of 100% affordable housing so complies with parts a-c of LP24. Part d is assessed in the 'Design and Visual Amenity' section below.

- 7.19 Local Plan Policy LP 25 (Housing Mix) confirms that a proposal for major scale development that includes housing will be supported where it provides a mix of sizes, types and tenures which help achieve sustainable, inclusive and mixed communities. The Policy states:

*“A proposal should set out how it responds to the evidence and guidance provided by:*

- a. the Cambridge sub-region Strategic Housing Market Assessment;*
- b. the Peterborough Strategic Housing Market Assessment where applicable;*
- c. the Council's Housing Strategy and Tenancy Strategy;*
- d. local assessments of housing need and demand; and*
- e. other local housing and demographic studies and strategies.*

*A proposal for wholly affordable housing will be supported where it contributes positively to the mix of tenures available in the local area.”*

- 7.20 In this case, part e is relevant.

- 7.21 The proposal is supported by the Spaldwick Housing Needs Survey (SHNS) (2021) which notes that lack of housing provision inflates prices and therefore creates a need for affordable housing delivery. The SHNS identifies the need for 7 affordable homes including bungalows which can be expanded to 15 homes, given the NPPF requirement for 5% of the settlement, which the proposal meets. The proposal comprises a mix of 7 First Homes, 3 Shared Ownership and 5 Affordable Rent, with three of the dwellings being bungalows. The Applicant would accept a Local Connection requirement secured within a S106 legal agreement. The proposal is considered to accord with LP24 of the Huntingdonshire Local Plan in this instance.

- 7.22 The WMS points out that the Government seeks to deliver First Homes via exception sites. Exception sites are small sites brought forward outside of development plans in order to deliver affordable housing, and currently consist of rural exception sites and entry-level exception sites.

- 7.23 Therefore, the proposal must also be assessed against LP28 (Rural Exceptions Housing). Policy LP28 states:

*“A proposal for housing will be supported on a site well-related to a built-up area, as an exception to the requirements of relevant policies, where it can be demonstrated that:*

- a. at least 60% (net) of the site area is for affordable housing for people with a local connection;*
- b. the number, size, type and tenure of the affordable homes is justified by evidence that they would meet an identified need*

*arising within the settlement or nearby small settlements (as defined in 'Small Settlements') through a local needs survey or other local needs evidence;*

*c. the remainder of the site area is available as open market housing or plots suitable for custom or self-build homes tailored to meet locally generated need; and*

*d. the amount of development and location of the proposal is sustainable in terms of:*

*i. availability of services and existing infrastructure;*

*ii. opportunities for users of the proposed development to travel by sustainable modes; and*

*iii. effect on the character of the immediate locality and the settlement as a whole.*

*Mechanisms, including planning conditions/ obligations, will be put in place to ensure that the affordable housing is delivered and remains affordable in perpetuity or for the appropriate period as applicable to the form of housing.*

*To ensure that market housing and affordable housing elements are delivered concurrently a planning condition will be applied.”*

- 7.24 In terms of criterion a, this can be secured by Section 106 agreement. Part b is satisfied due to compliance as identified in the Spaldwick Housing Needs Survey. Part c is not relevant to this application as the proposal is for 100% affordable home provision.
- 7.25 In relation to Part d (i), it is noted that Spaldwick is served by an existing Primary School, play area, public house, church and Applegreen Service Station which includes a shop, off licence and restaurants. Spaldwick is also served by public transport, with a bus stop a 7-minute walk away on Church Lane serving the village to Huntingdon and is therefore considered to be a sustainable location in terms of services and infrastructure. In relation to Part d (i), the site is within a reasonable walking distance of bus stops, the village pub, Applegreen Service Station, accessible via a footpath and the village school. It is considered that residential development of the site would accord with this part of the policy. Part d (iii) is considered in the rest of this report, and it is considered that the proposal has the capacity to meet this criterion.
- 7.26 Third parties have raised concern that the proposal would not meet the criteria for First Homes. This would be secured by a Section 106 agreement.
- 7.27 Comments received stating that other sites would be more suitable to development and that the proposal would set a precedent to additional development are noted. However, the Local Planning Authority can only assess the proposal in front of it and each application is assessed on its own merits.

- 7.28 Comments raising concern that the occupants would have to manage drainage and flooding issues and that the proposal is contrary to the Spaldwick Action Plan are acknowledged, but these specific issues regarding the Spaldwick Plan are not planning matters. Flood risk and drainage is discussed in detail below.
- 7.29 Although the application site is located outside of the built-up area of Spaldwick, the site is well-related to the village and would meet the requirements set out in the NPPF, the government First Homes criteria PPG and Policies LP2, LP9, LP10, LP24, LP25 and LP28 of delivering a rural exception site of 100% affordable dwellings. The principle of development is therefore considered to be acceptable subject to the other material planning considerations discussed below.

### **Flood Risk and Drainage**

- 7.30 National guidance and Policy LP5 of the Local Plan to 2036 seek to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 159-169 of the NPPF (2023)). The site lies within Flood Zone 1 on the Environment Agency Maps for Flooding and on the Council's Strategic Flood Risk Assessment maps but is at a low to medium risk of surface and groundwater flooding and is shown in the SFRA to be susceptible to flooding during 1 in 1000 year flood events.
- 7.31 The representations received from the Parish Council and neighbours regarding regular flooding events on the site itself and adjoining land and potential for further flood risk are noted, as are concerns regarding the Anglian Water Pumping Station capacity and concern regarding clay soil on the site.
- 7.32 Officers note that the Environment Agency (EA) have provided advisory comments on the application. The comments are considered advisory because consultation with the EA is in relation to flood risk matters which are restricted to fluvial and tidal flood risk zones. This proposal is located within Flood Zone 1 (low risk), and therefore falls outside the remit of the EA. Subsequently they are unable to make formal comment. The EA acknowledges that the flood map for surface water shows the whole site being at risk from surface water during a 1 in 1000 event which is the lowest risk. The 1 in 100 (medium risk) is only a small part of the site and the 1 in 30 (high risk) is around the edge of the site away from the proposed dwellings. The EA also highlights that the flood map does not take into account climate change and therefore a sequential test may be required. However, it must be noted by members that EA flood risk mapping is the formal tool used to appraise sites in terms of flood



risk and drainage, this tool is updated regularly and therefore remains the basis in which sites are assessed for the purpose of the determining a planning application.

- 7.33 Officers note these advisory comments from the EA. On review of the submitted Drainage Report, officers note that in section 2.4 that the calculations for the hydraulic model for the outflow of surface water drainage from the system into the roadside ditch has taken into account climate change. As outlined below, the LLFA support the proposal as in terms of dealing with surface water drainage. Taking this account, alongside the size of the site, and the fact that the majority of the site is within low risk not high risk of surface water flooding, officers are of the view that the sequential test is not required in relation to surface water drainage.
- 7.34 Additionally, as the site is located in Flood Zone 1 and is under 1 hectare in area, it is not necessary for a sequential test to be carried out to identify other potential sites at a lower risk of flooding, nor is there a requirement for a Flood Risk Assessment to be carried out on the site. Notwithstanding this, the application is accompanied by number of documents such as Phase 1 Desk Study, a Drainage Site Survey, a Proposed Drainage Site Plan, Drainage Details drawing, and a Drainage Report.
- 7.35 The topography of the site falls slightly in an eastern direction from levels of around 20m above Ordnance Datum (AOD) in the south western corner to around 19m AOD in the north eastern corner. The Phase 1 Desk Study establishes that the site is at a low risk of river and coastal flooding and a 1 in 30 year, 0.1m-0.3m risk of surface water flooding. Groundwater flooding was found to be negligible.
- 7.36 The main flood risk aspect associated with the proposed development is ensuring that surface water drainage from the site would be dealt with in accordance with all relevant local and national guidance/standards to ensure that there would be no adverse impact upon the downstream risk of flooding as a result of the development.
- 7.37 In terms of the proposed surface water drainage strategy, paragraph 6.3.17 of the Cambridgeshire Flood and Water SPD 2017 states that it is a Building Regulations and Planning Practice Guidance requirement that the discharge hierarchy for surface water drainage is followed.
- 7.38 The hierarchy requires that rainwater shall discharge to the following, listed in order of priority:
- To ground in an adequate soakaway or some other adequate infiltration system
  - A watercourse
  - A surface water sewer, highway drain or other drainage system

- A combined sewer

- 7.39 The submitted Phase 1 Desk Study states that the site is underlain by a Oxford Clay geology which is unsuitable for infiltration due to its low permeability and storage capability, therefore infiltration systems are not considered to provide a feasible method of draining surface water from the site.
- 7.40 The proposal is to discharge surface water via tanked permeable paving discharging via flow control and flap valve into the existing watercourse to the north of the site, restricting surface water discharge to 2.5l/s. The system can also withstand additional rainfall with no discharge and a closed flap valve without flooding.
- 7.41 Cambridgeshire County Council as the Lead Local Flood Authority (LLFA) were consulted on the application and initially requested clarifications and further detail regarding the proposed filter drain, given the recent Storm Henk and subsequent surface water ponding on site, noting the drainage ditch to the east and west of the site would require to be maintained without increasing flood risk to a neighbouring property.
- 7.42 Details were thus sought and provided from the applicant to demonstrate how the filter drain would perform in instances of high water levels. The applicants drainage engineer provided a letter outlining that given the topography of the site, surface water runoff would likely be to the eastern ditch of the site, nor to the south and that the proposed filter drain would prevent and minor localised flows from entering site, but would not impact the total flows in the ditches which would be unchanged. These flows are likely to be negligible and the flow from outside the development will discharge as it does not directly to the eastern ditch, and the runoff from the site would be greatly reduced. Ant flow which does enter the filter drain will discharge to the eastern ditch as it does now.
- 7.43 The LLFA re-consultation comments raise no objection to the proposals stating that the LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site, it also provides water quality treatment which is of particular importance when discharging into a watercourse. The LLFA recommends conditions relating to a detailed design of the surface water drainage and surface water runoff and drainage systems to be submitted to and approved in writing by the Local Planning Authority to ensure adequate drainage and no increase in flood risk and to ensure the principles of sustainable drainage can be incorporated into the development.
- 7.44 In terms of foul water drainage, it is proposed that the development connects to the Anglian Water sewer to the north-

west of the site. Anglian Water were consulted on the application and raised no objection stating that the foul drainage from this development is in the catchment of Easton (Cambs) water Recycling Centre that will have availability and capacity for these flows. A condition requiring a scheme of foul water drainage could be imposed in the event of an approval decision made on the application. Therefore, while comments relating to flooding and sewerage capacity have been made by third parties, the Lead Local Flood Authority, Internal Drainage Board and Anglian Water have raised no significant concerns regarding the application, and therefore officers are satisfied that the proposal could be made acceptable regarding flooding and sewerage issues via conditions.

- 7.45 Concern has been raised regarding ability for occupants to obtain necessary insurance are acknowledged. However, this is not a planning issue and cannot be considered as part of the appraisal. Comments relating to the site being intentionally under 1 hectare are noted, however the proposal can only be assessed using submitted information, technical consultee responses and local and national policy. In this case the site is under 1 hectare, has been assessed as acceptable (subject to conditions) by technical flood risk and water consultees and has subsequently been considered to meet local and national policies.
- 7.46 Overall, it is considered that the risks of flooding, drainage and sewerage have been fully assessed and it has been demonstrated that the development can be made safe for its lifetime without increasing flood risk elsewhere. Subject to conditions, the proposal is considered to accord with Policies LP5 and LP15 of the Local Plan, Section 14 of the NPPF 2023, and the Cambridgeshire Flood and Water SPD 2017.

### **Design and Visual Amenity**

- 7.47 Policy LP11 of the Local Plan states that proposals will be supported where it is demonstrated that they positively respond to their context and draw inspiration from the key characteristics of their surroundings, including the natural, historic and built environment.
- 7.48 Policy LP12 of the Local Plan states that proposals will be supported where they contribute positively to the area's character and identity and where they successfully integrate with adjoining buildings.
- 7.49 Paragraph 135 of the NPPF 2023 states that planning policies and decisions should ensure that developments:
- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

- 7.50 The National Design Guide 2021 addresses the question of how we recognise well-designed places by outlining and illustrating the Government's priorities for well-designed places in the form of ten characteristics. The Guide supports paragraph 135 of the NPPF that states permission should be supported for development of good design.
- 7.51 The Huntingdonshire Design Guide 2017 sets out design principles based on recognised best practice and explains key requirements that the Council will take into consideration when assessing planning proposals. The Design Guide promotes locally distinctive design which respects and enhances the character of Huntingdonshire.
- 7.52 The site lies to the east of the main built-up area of Spaldwick and covers an area of approximately 0.81 hectares. The site borders existing buildings on two sides. To the north of the site lies residential units at Nos. 45 and 53 High Street and to the west lies Nos. 1, 3, 5 and 7 Ivy Way. The Applegreen Service Station lies immediately opposite the site. The site is bounded by a dense belt of mature trees and hedgerows to the west and more sporadic trees and hedgerows to the north and east, a drainage ditch also borders the north, west and eastern boundaries. The southern edge is open to the remaining part of the field and the wider countryside. An existing access is located in the northwest corner of the site from the High Street.
- 7.53 The site is crossed by a public footpath (PRoW 2019/12) running north-south. The north-west corner of the site lies adjacent to the Spaldwick Conservation Area and two Grade II Listed Buildings are located over 120 metres west from the site.

- 7.54 The application forms residential units comprised of 15 dwellings (10 x semi-detached and 5 x detached, 3 of which are bungalows), comprising 1 x 1-bed, 10 x 2 bed and 4 x 3-bed. Of these, 7 are First Homes, 3 are shared ownership and 5 are affordable rent. It is acknowledged that the proposal follows advice provided as part of discussions on the prior withdrawn application (23/00649/FUL).
- 7.55 The site access has been located further west and the first section of the spine road aligned to more closely follows the western site boundary, whilst the southern end of the spine road continues to follow the diagonal alignment of the PRoW, the reduction in the number of units has allowed the creation of a simple perimeter block with outward facing development fronting the site boundaries, the spine road and perimeter shared surface loop road with secure and enclosed back-to-back rear gardens. The reduction in units has allowed for more consistent building lines which helps conceal and better integrate the parking which is now located to the side of each dwelling.
- 7.56 The revised layout incorporates deeper areas of structural landscaping along the eastern and southern site boundaries, which together with the arrangement of the Bungalows (Plots 10, 11 and 12) creates a softer transition with the adjacent countryside. The previous arrangement with footpaths either side of the spine road, duplicating the 'landscape walk' has been rationalised and the footpath on the west side of the spine road omitted.
- 7.57 Units are arranged with secure back-to-back rear gardens with 23.6m and 25.1m separation distances in accordance with the 21m minimum back-to-back distance set out in the HDC Design Guide SPD.
- 7.58 House types have been revised following previous comments on the withdrawn application and now incorporates kitchen windows on the side elevations overlooking the adjacent side drives. Plots 01, 06, 10 and 12 have been configured as corner turning units with front entrances on the side elevations and windows to habitable rooms on both the front and side elevations addressing the corners of the perimeter block to the spine road and shared surface loop road.
- 7.59 Plot 9 includes a south facing secondary bedroom window on the side elevation. There is concern this could result in perceived overlooking impacts to the rear garden of Plot 10 to the south. Given this forms a secondary window it is recommended this window be omitted and replaced with a tax window. This change could be agreed by way of condition to make the proposal acceptable.

- 7.60 The elevations have been revised to create a more traditional appearance and comprise a mixture of buff brick (Plots 1, 2, 13, 14) or red brick (Plots 3-4, 7-8, 9, 11, 12, 15). It is recommended that plots 1 and 2 also feature red facing brickwork to reflect the red brick units opposite the site and within the Ivy Way frontage adjacent. This can be secured by condition.
- 7.61 Render with red brick splash courses is proposed for Plots 5-6 and 10 fronting the spine road and are supported and helps reinforce these marker buildings, create a hierarchy of units and reflects the rendered dwellings further west fronting the High Street.
- 7.62 All units now feature corbelled brick eaves and verges (Plots 1, 2, 10, 13, 14) or exposed rafter feet (Plots 5-6, 7-8, 9, 10, 11, 12, 15). Plots 1, 2, 3, 4, 5, 6, 10, 12 feature chimneys. Stone cills, feature brick string coursing and sash windows are proposed for Plots 3-4, 7, 8, 9 and 15.
- 7.63 The Urban Design Officer on the previous application advised a more consistent and traditional appearance was recommended for the High Street frontage and units fronting the spine road (i.e. facing brickwork, sash windows, stone cills and soldier course windows heads and coursing). Whilst the revised application has largely addressed these comments, stone cills, brick string coursing and sash windows should be specified for Plots 1, 2, and sash windows for plots 5 and 6 to create a more consistent appearance to the High Street and Spine Road and reflect the traditional appearance of existing dwellings within the High Street. These changes could be agreed by a suitably wording condition to make the proposal acceptable in design terms.
- 7.64 Conditions are also recommended to confirm the red and buff facing brickwork, colour and type of render, the concrete roof tiles (traditional slate, of slate effect tiles with a thin leading edge are recommended, with some units in red plain tiles), windows – means of opening and RAL colour (submitted elevations show 'coloured' window however the colour has not been specified. It is unclear if the sash windows shown would be sliding), and the colour of facias and rainwater goods.
- 7.65 An architectural details condition is required to confirm the location and colour of meter boxes, flues, vents and extracts.
- 7.66 A third party has raised concern that the plans fail to define a sufficient heating solution. While these comments are considered, heating is a Building Control issue and is subject to legislation outside of planning and therefore cannot be taken into account in the assessment of this application.
- 7.67 It is accepted that subject to conditions, the proposal is acceptable in design terms and would therefore be in

accordance with Local Plan Policies contrary to Policies LP9, LP10, LP11, LP12 and LP24 part d of the Local Plan to 2036.

### **Impact upon Heritage Assets**

- 7.68 The proposal is adjacent to Spaldwick Conservation Area on its north-western boundary and is sited 120 metres east from the Grade II Listed Building Ivy House and approximately 123 metres from 38 High Street also to the east. Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.
- 7.69 Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 7.70 Paras 189 - 202 of the NPPF provide advice on proposals affecting heritage assets and how to consider different levels of harm. Para. 194 states 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'.
- 7.71 Policy LP34 of the Local Plan aligns with the statutory provisions and NPPF advice and seeks to preserve heritage assets and their settings, stating that the statutory presumption of the avoidance of harm can only be outweighed if there are public benefits that are powerful enough to do so.
- 7.72 Third party objections relating to heritage assets include concerns that the proposal would detrimentally impact Spaldwick historic character and designated Conservation Area form material consideration which is assessed in the proceeding section.
- 7.73 Huntingdonshire District Council's Conservation Officer has reviewed the submitted documentation associated with this planning application and has objected to the proposals as the proposal would result in harm to the significance of Spaldwick Conservation Area by virtue of its design layout and massing. The consulted Conservation Officer considers the harm caused by the proposal to be less than substantial, and that this level of harm can only be outweighed if there are sufficient public benefits to do so. The site is not within the conservation area therefore whilst 'great weight' is afforded to this recommendation it is not 'special weight'.

- 7.74 The local planning authority must make special regard to the desirability of preserving the setting of a Conservation Area as per the Planning (Listed Buildings & Conservation Areas) Act 1990, and paragraph 208 of the NPPF 2023 requires the harm to be weighed against the public benefits of the proposal.
- 7.75 In this case, while it is acknowledged that the proposal would result in a degree of harm to the adjacent Spaldwick Conservation Area and wider historic character of the village, it is considered that on balance, the public benefits of the scheme which include 100% affordable housing provision secured by a S106 agreement would outweigh the less than substantial harm to the setting of the Spaldwick Conservation Area.

## **Archaeology**

- 7.76 The site lies in an area of archaeological potential to the east of the historic core of Spaldwick.
- 7.77 A recent archaeological investigation carried out 70m from the proposed development within the curtilage of Grade II listed Ivy House which dates to the late 17th century (National Heritage List For England reference 1165318) has identified remains relating to domestic activity on the site mainly dating to the mid-12th to 14th centuries (Cambridgeshire Historic Environment Record reference ECB6525). These include ditches which may represent plot boundaries extending from the High Street which has origins dating back to at least the Saxon period. Previous archaeological investigations conducted within the village core have also revealed evidence of Iron Age, Saxon and medieval occupation and industrial activity including charcoal roasting pits and the remains of timber buildings of Saxo-Norman date at two different sites further to the north-west of the proposed development at Thrapston Road (MCB19832, CB14594). Additional evidence of medieval activity has also been identified to the west at Ferriman Road (CB14593), and a 14th century gilded brass crucifix was previously uncovered 100m north-west of the proposed development in the grounds of no.41 High Street (00734).
- 7.78 Due to the archaeological potential of the site, Cambridgeshire County Council's Archaeology Officer has recommended that a further programme of investigation and recording is required in order to provide more information regarding the presence or absence, and condition, of surviving archaeological remains within the development area, and to establish the need for archaeological mitigation of the development as necessary. Accordingly, CCC Archaeology have recommended that a pre-commencement condition securing a programme of archaeological investigation is imposed on any grant of planning permission and is recommended be appended to any consent given to the application.



- 7.79 It is therefore accepted that subject to conditions, the proposal is acceptable in design terms and impact to the Spaldwick Conservation Area and would therefore be in accordance with Local Plan Policies contrary to Policies LP9, LP10, LP11, LP12 and LP34 of the Local Plan to 2036.

## **Housing Mix**

### Affordable Housing

- 7.80 Policy LP24 of the Local Plan to 2036 requires a proposal which includes housing development to provide a range of affordable housing types, sizes and tenures. These should be appropriate to meet the requirements of the local community taking into account the latest evidence from the Housing Register, the Cambridge sub-region Strategic Housing Market Assessment and other local sources.
- 7.81 Policy LP25 of the Local Plan to 2036 outlines that a proposal for major scale development that includes housing will be supported where it provides a mix of sizes, types and tenures that help achieve sustainable, inclusive and mixed communities.
- 7.82 All 15 dwellings proposed are affordable, complying with the 40% requirement. The proposed tenure split is 7 First Homes, 3 Shared Ownership and 5 Affordable Rent.
- 7.83 The HDC Policy and Enabling Officer's (Housing) has been consulted as part of the application and raises no objections to the proposal, noting that it would be preferable for the bungalow bathrooms to have a wet room/level access shower instead of a bath. This could be secured by condition should the proposal be approved.
- 7.84 Officers note that the quantum of affordable homes, tenure and mix meets the aims of Policies LP24 and LP25 of the Local Plan. The mix proposed in this scheme broadly complies with the mix sought for Huntingdonshire in the Housing Needs of Specific Groups (October 2021) and the Spaldwick Housing Needs Survey (February 2021) and will help to achieve a sustainable, inclusive and mixed community in this locality.
- 7.85 The proposal is therefore considered to accord with the requirements of Policy LP24 part d) of the Huntingdonshire Local Plan to 2036.

### **Impact upon Amenity**

- 7.86 Policy LP14 of the Local Plan to 2036 states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and

maintained for users and occupiers of neighbouring land and buildings. A site visit was carried out by the case officer during the course of the application.

#### Amenity of neighbouring properties

- 7.87 Third-party objections relating to residential amenity submitted in relation to this proposal including noise, light impacts, air pollution, loss of privacy, overbearing and other environmental impacts have been considered and taken into account, alongside consultee comments relating to the same.
- 7.88 The site is bound on its western side by linear residential development on Ivy Way, the dwellings having their rear or side elevation facing the proposal site. Dwellings are also sited to the north of the proposal on High Street. Otherwise, the site is bound on its eastern and southern elevations by open land.
- 7.89 Page 143 of the Huntingdon District Design Guide states: 'A general rule of thumb of 21m distance between properties ensures privacy for residential use.' No.1 Ivy Way is the closest dwelling to the development, with Unit 6 being the nearest dwelling at approximately 35 metres to the west of this proposed dwelling. Given the separation of the proposed dwellings from nearby existing dwellings, it is considered that no additional windows that directly overlook any neighbour would result in detrimental overlooking issues. Moreover, no part of the proposals intersect the 45 degree guidance criteria set out within The Huntingdonshire Design Guide 2017 section 3.7 (Building Form) to cause any significant concerns regarding loss of light, sense of enclosure or loss of privacy. This relative proximity would not cause significant noise or environmental impacts such as air or light pollution that would warrant a refusal of the application on amenity grounds.
- 7.90 It is acknowledged that concerns have been raised by third parties in relation to noise from the Public Right of Way, headlights of vehicles exiting the site at night, light pollution from the development and other environmental impacts including air pollution, as outlined above, it is considered that the cumulative environmental impacts would not be so significant that it would warrant refusal of the application on amenity impacts alone and would be balanced with the public benefit from the provision of affordable housing. Notwithstanding this, the proposal has been considered by the Huntingdonshire Council's Environmental Health Officer who raises no significant concerns regarding potential detrimental impact to neighbouring dwellings subject to a Construction Environmental Management Plan (CEMP) to be submitted to and approved by the Local Planning Authority prior to commencement of development to ensure the environmental impact of the construction of the development is adequately mitigated and in the interests of nearby residents.

7.91 On balance, while concerns have been raised regarding the impacts to residential amenity have been considered, the proposal overall accords with Policy LP14 of the Local Plan in respect of its impact upon neighbouring properties and is therefore acceptable.

#### Amenity for future occupiers

7.92 Huntingdonshire District Council's Environmental Health Officer (EHO) has considered the proposals and raises concerns that the proposals may incur some noise impacts to occupants of the proposed dwellings given the proximity of the proposals to the A14 within a direct line of sight. The EHO subsequently recommends the submission of a Noise Mitigation Scheme to be submitted to and approved by the Local Planning Authority prior to commencement of development. This recommendation from the EHO is considered to meet the five tests for conditions in respect of amenity and is recommended to be appended to any consent given to the submitted application.

7.93 In terms of internal space for future occupiers, the proposed gross internal area (GIA) for Unit 1 which is a 1-bedroom bungalow, 2-person unit is 50sqm. Units 1 and 6 are two storey, two bedroom, 4 person dwellings and would have a GIA of 83.6sqm. Units 2, 5, 7 8, 13 and 14 are two storey, two bedroom, 4 person dwellings and would have a minimum GIA of 79.8sqm. Units 3, 4 9 and 15 are two storey, three bedroom, 5 person dwellings and would have a minimum GIA of 96.6 sqm. Units 10 and 13 would be single storey, two-bedroom, 3 person dwellings and would have a minimum GIA of 62.0 sqm.

7.94 These proposed gross internal areas accord with the nationally described space standards (NDSS). Accordance with the NDSS is not a policy requirement within the Huntingdonshire Local Plan to 2036 but provides some context in terms of living space. In this instance, the proposed internal space is considered appropriately functional and acceptable such that future occupiers would experience a good standard of amenity in this regard.

7.95 Whilst HDC do not have private amenity space standards, Local Plan Policy LP12 Design Implementation Part L requires that future development:

*'ensures that public and private amenity spaces are clearly defined and are designed to be inclusive, usable, safe and enjoyable'*

whereas, Part M also requires developments to:

*‘successfully integrates the functional needs of the development including refuse and recycling, cycle storage and car parking so that their dominance is minimised’.*

- 7.96 The Development Scenario Questions set out in the HDC Design Guide SPD 2017 - Infill and small group developments, question 6.6 considers *‘Has an adequate amount of amenity space been provided for each residential unit and is it of a shape, size and location to allow effective and practical use by residents?’*. In the case of the proposed units which have 2 or 3 bedrooms, it is reasonable to expect these to be occupied by families. However, in all cases, it is considered that each dwelling has an appropriate amount of private garden area to accommodate the functional needs of occupants – e.g. space for young children to play, planting, dry washing, garden furniture etc.
- 7.97 On balance, therefore, the proposal is considered to be broadly in accordance with Policy LP14 of the Huntingdonshire Local Plan to 2036. The proposed development complies with policy and does not create a significant conflict with any neighbouring residential amenity.

#### Amenity for users of the Public Right of Way

- 7.98 Public footpath No.12, Spaldwick runs through the site (north/south). The submitted Design and Access Statement puts forward that the Public Right of Way has not been formally relocated due to legal issues but instead provides an alternative walk through (annotated as ‘Landscape Walk’ on plans) to the western side of the site.
- 7.99 Third-party objections relating to amenity in relation to this proposal including general loss of amenity resulting from the loss of a green, open site and footpath have been considered and taken into account in this section.
- 7.100 The National Planning Framework at paragraph 104 requires that: *“Planning policies and decisions should protect and enhance public rights of way and access, including taking opportunities to provide better facilities for users, for example by adding links to existing rights of way networks including National Trails”*.
- 7.101 Cambridgeshire Rights of Way Improvement Plan (ROWIP 2016 update) states the main objective is
- “...to manage, improve and promote a Public Rights of Way network as an integral part of a wider transport system which meets the needs of the whole community for safe sustainable local transport, which improves public health, enhances*

*biodiversity, increases recreational opportunities and contributes to the rural economy”.*

Statement of Action SOA3 and Guiding Principle GP3 also states:

*“New development should not damage countryside provision, either directly or indirectly. New settlements should be integrated into the rights of way network, and improved provision made for the increased population. Where appropriate, development should contribute to the provision of new links and/or improvement of the existing rights of way network”.*

- 7.102 The County Council’s Guidance for Planners and Developers provides guidance on what is considered acceptable when designing a site layout including Public Rights of Way. The guidance sets out the key criteria and states:

*“PRoW should be considered as an integral part of the highway network through and beyond the development site in accordance with government and local transport policies. They should be seen as additional to the proposed network of estate roads, private driveways and streets and should be provided wholly or in the main, separate from them. The re-routing or incorporation of a path along footways, or its extinguishment, should be avoided on all but the very smallest of development sites where there is little or no scope to provide a separate path.”*

- 7.103 The Proposed Site Plan 0025-100-17 shows that other than the section of Public Footpath No. 12, Spaldwick that enters the northern section of the site from the High Street, most of the public footpath is subsumed into the proposed private road or pavement.

- 7.104 The Definitive Map Team at Cambridgeshire County Council has been consulted as part of the application and initially objected to the proposal as it was not clear whether the applicant will maintain the alignment of the public footpath or divert it as at the time, no application to do so had been submitted to the county council for formal consideration. To maintain the current alignment of the footpath would not be acceptable as the public footpath would be subsumed into a private road or pavement and would therefore require a change of surface which requires prior agreement with the County Council. Since this objection was received, the applicant has submitted an application to Cambridgeshire County Council to divert the public footpath through the ‘Landscape Walk’ to the west of the site and the Definitive Map Team at Cambridgeshire County Council have subsequently withdrawn their objection, subject to a condition relating to a Public Rights of Way Scheme to be submitted to and approved by the Local Planning Authority prior to commencement of development in the interests of the amenity

and safety of the public and this is recommended to be attached to any consent given to the application.

- 7.105 Therefore, subject to the condition, the development is considered to accord with LP14 and LP16 of the Huntingdonshire Local Plan to 2036 and would protect and enhance the public right of way in line with to paragraph 104 of the NPPF 2023.

### **Highway Safety, Parking Provision and Access**

- 7.106 Policy LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles. Paragraph 115 of the NPPF (2023) states that development should only be prevented or refused on Highway Safety Grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

- 7.105 The site is located on Spaldwick High Street and would take access from a repositioned access eastwards from the existing opening on to the north east of the site. It is noted that third-party objections have raised highway safety concerns regarding conflict between the application site and the proximity to both the service station to the north-east of the site and the slip-road from the A14 approximately 135m to the east. The entrance of the site sits just inside the speed limit change from 70mph to 30mph. Potential highway safety concerns are assessed in this section of the report, as are concerns that the development would conflict with the A14 improvements and that the proposal would be occupied by people who are car-reliant.

- 7.106 The Local Highway Authority has reviewed the proposals and note that proposal is for the development of 15 dwellings on the entrance to the village of Spaldwick. While the proposal would intensify the use of the site in terms of traffic, the vehicle movements associated with that proposed could not be considered as significant against the background flows and the flows from the A14 with peak time movements being circa 10 movements within the peak hours or 1 every 6 minutes. Therefore, capacity could not be considered an overriding issue that would warrant a refusal of the application in itself.

- 7.107 The Highways Officer also notes that the access is situated within the 30mph section of highway and 2.4m x 43m visibility splays have been indicated, which meets with criteria. The actual splays available are greater than those indicated with 2.4m x 176m towards the A14 and circa 2.4m x 88m towards the village. The submitted Transport Statement also indicates a road width of 5m footway width of 2m and radii of minimum of 6m which accords with adopted criteria for a development of this size,

although it is indicated that the site will remain private. Pedestrian visibility is therefore provided and is acceptable. The Highways Officer noted that as the road is not proposed to be adopted the LPA should be satisfied that their operations team have no objections to that proposed. No objection has been received from Huntingdonshire District Council's Waste team.

- 7.108 The Highways Officer also notes that access geometry to the public highway is similar to many existing developments and is therefore acceptable. Furthermore, whilst the access is indicated to have acceptable visibility for the site access it has been reported by third-parties that HCV or HGV parking sometimes reaches the proposed site access, therefore blocking the available visibility which could cause highway safety impacts. The Cambridgeshire County Highways Officer accepts that recommendation of refusal on this possible issue cannot form a defensible reason for refusal as it forms part of the adopted highway and is not a designated parking area, but recommends that the applicant be requested for a section 106 contribution to protect the required splays which would be achieved by the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station.
- 7.109 As well as a legal agreement to safeguard parking restrictions, the Cambridgeshire County Highways Officer recommends a number of conditions to be appended to any consent given, including pre-commencement conditions relating to the future management and maintenance of the proposed streets within the development, that the crossing of the ditch / watercourse along the frontage of the site shall be constructed in accordance with a scheme to be submitted to and agreed in writing with the Local Planning Authority, visibility splays, that a route for all traffic associated with the construction of the development (or associated with the use of the site) has been provided and approved in writing to the satisfaction of the Local Planning Authority together with proposals to control and manage traffic using the agreed route and to ensure no other local roads are used by construction traffic (or site traffic).
- 7.110 Other prior to occupation and compliance conditions including access dimensions, access construction, that the proposed on-site parking / servicing and turning area shall be laid out, demarcated, levelled, surfaced and drained in accordance with the approved plan and thereafter retained for that specific use, highway improvement works and requirement for a metalled surface are recommended and are considered necessary to ensure the proposal is acceptable in highway safety terms and are recommended to be appended to any consent given to the application.
- 7.111 While concerns have been raised regarding issues of highway safety, planning conditions cannot control drivers who fail to keep

to national speed limits or wish to choose to cross a road at a certain point on the High Street, so cannot form a part of this assessment. Officers disagree that the proposal would make occupiers of the development reliant on vehicles, as a footway is provided to the north west of the site which would allow cycle users and pedestrians direct access to village services, including bus stops, restaurants and education.

- 7.112 Concerns raised regarding impact to and from the A14 (including the slip road) are noted. However, National Highways were consulted on the application and raised no significant concerns. Therefore, the impact to the A14 is considered acceptable.
- 7.113 During April 2024 Development Management Committee, Members raised that there were vehicles leaving the A14 at 70+ miles an hour which would cause detrimental highway safety concerns (pedestrians and vehicles) given the entrance to the site and footway are close to the slip road into the village of Spaldwick.
- 7.114 The Cambridgeshire County Highways team were contacted regarding this concern but at the time of writing this update report no response has been received. Notwithstanding this, while these concerns are acknowledged and it is accepted that the entrance of the site sits just inside the 30 mph speed limit change from 70mph, developments cannot mitigate or append conditions to make the proposal acceptable against people not according with lawful speed limits. It would be unreasonable for the Local Planning Authority to penalise the development for such behaviour as the issue of speeding is a criminal matter not a planning matter. Additionally, highway safety measures are proposed by way of a financial contribution to implement double yellow lines to the north of the site on the approach to High Street to dissuade vehicles parking where they obstruct view of oncoming vehicles. To reiterate above paragraphs, The Cambridgeshire County Highways team have reviewed the proposal in full in regards to highway safety and raise no issues subject to conditions which are deemed relevant, necessary and reasonable to ensure the development is acceptable on highway safety grounds. Officers accept this advice from the technical consultee regarding highway safety.
- 7.115 Overall, therefore, with the inclusion of the above S106 contribution and the above conditions, it is considered by officers that the proposal has the capacity to demonstrate that the proposal would not result in an adverse impact upon the strategic transport network and would not have an adverse impact on highway safety. The proposal on balance accords with policies LP16 and LP17 of the Huntingdonshire's Local Plan to 2036 and Paragraph 115 of the NPPF (2023) in this regard.

## Parking



7.116 Private car ownership generated from the proposal will be catered for via on plot parking in the form of driveways and cycle storage in the form of cycle stores. The parking provision for each dwelling is typically a minimum of 2 spaces per dwelling. There are no maximum or minimum parking standards that need to be applied to developments as per the requirements of the NPPF. It is shown on the submitted plans that adequate parking is provided on site (2 vehicle spaces per dwelling with covered cycle storage to accommodate one cycle per bedroom), having regard to the scale and nature of the proposed development. It is considered that there is sufficient parking space on the site to meet the requirements of LP16 & LP17 of the Local Plan to 2036.

## **Biodiversity**

7.117 Policy LP30 of Huntingdonshire's Local Plan to 2036 requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated. Policy LP30 also requires development proposals to ensure no net loss in biodiversity and provide a net gain in biodiversity where possible.

7.118 The application is supported by an Ecological Survey (ES) by AAE Environmental Consultants dated April 2022, alongside a Biodiversity (BNG) metric calculator and Biodiversity (BNG) Technical Note.

7.119 The submitted biodiversity information has been reviewed by Huntingdonshire's Ecology Officer, who raises no objections subject to planning conditions attached to any consent given requiring a Biodiversity Methods Statement to be submitted addressing how the recommendations detailed in the Ecology TN (submitted 13/10/2023) Discussion and Recommendations section are to be implemented, and a planning condition requiring the submission of a lighting plan to minimise light spillage and pollution that could negatively impact invertebrates, birds and bats. The lighting scheme will follow guidelines from the Bat Conservation Trust and ILP (Institute of Lighting Professionals) – Guidance Note 08/23: Bats and Artificial Lighting at Night: Appropriate luminaire specifications 4.29.

7.120 Subsequently, the Ecology Officer regards the Biodiversity Net Gain Assessment provided for the site demonstrates the proposal adheres to Local Plan Policy LP30 to ensure no net loss in biodiversity and provide net gain where possible through the planned retention, enhancement and creation of habitats and wildlife features, appropriate to the scale, type and location of development in explanatory paragraph 8.13 of the Local Plan.

7.121 Therefore, while local residents have raised concerns about the impact to local ecology, including bats, red kites and wild nested snipes, and the loss of trees onsite it is considered that habitat mitigation and enhancement is achievable on the site and therefore, subject to conditions, the proposed development is considered to accord with Policy LP30 of the Local Plan to 2036.

### **Impact on Trees**

7.122 Policy LP31 of the Huntingdonshire Local Plan to 2036 requires proposals to demonstrate that the potential for adverse impacts on trees, woodland, hedges and hedgerows has been investigated and that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development.

7.123 The site is bound by trees and hedgerows to the western boundaries, with sporadic trees to the eastern boundary and hedgerows to the southern boundary.

7.124 Huntingdonshire District Council's Tree Officer has reviewed the submitted Arboricultural information and notes that there are a number of trees on site, which while not impacted by the proposal will require protection during construction. As such, officers recommend a planning condition is attached in this regard and also advises a condition for arboricultural monitoring throughout construction.

7.125 As the existing boundary vegetation is a significant feature which would be integral to retaining some of the character and appearance of the site, particularly as the site is on the village edge abutting a Conservation Area, it is considered reasonable to secure a Tree Protection Plan and Tree Protection Monitoring details to ensure that the development does not harm any trees, shrubs and hedges to be retained on and adjacent to the Subject to these conditions, the proposal is considered to accord with Policy LP31 of the Huntingdonshire Local Plan to 2036 and paragraph 180 b) of the NPPF (2023) in this regard.

7.126 While some third party comments raise concerns about the removal of trees on site prior to submission of the application, it is noted that as the site is not in a conservation area nor includes any legally protected trees covered by a Tree Protection Order (TPO), the applicant is allowed to remove a tree without formal permission.

### **Open Space**

7.127 Policy LP3 of the Local Plan states that a proposal will be expected to support green infrastructure and will therefore be

supported where it demonstrates that it incorporates open/green space in accordance with the Council's Developer Contributions Supplementary Planning Document and improves the accessibility, naturalness and connectivity of green spaces including maintaining and where appropriate enhancing the rights of way network.

- 7.128 The Developer Contributions SPD points out at paragraph B1 that open spaces are an essential element in the delivery of sustainable communities. They not only contribute to the health and well-being of the area, but they are also essential to biodiversity and the delivery of a high-quality designed development.
- 7.129 In accordance With Policy LP3 of the Local Plan and the requirements of the Developer Contributions SPD 2011, the scheme would incorporate an area of informal green space located around the periphery of the site, but specifically to the western side of the site.
- 7.130 The proposed continuous open space provision to the western side of the site comprising the Green Buffer Zone and Landscape Walk totals approximately 1,700 sqm, with the whole site providing approximately 3,000 sqm of amenity open space. As such, the proposed layout and landscaping matters propose an over provision of open space in comparison to the requirements of the Huntingdonshire Developer Contribution SPD which requires an overall area requirement of 696 sqm.
- 7.131 Overall, it is considered that the proposal would provide adequate amount of useable open space within the site. Accordingly, the proposal is considered to be acceptable in terms of open space and complies with the Council's requirements of the adopted Developer Contributions SPD (2011).

### **Accessible and Adaptable Homes**

- 7.132 Policy LP25 of the Local Plan to 2036 states: A proposal that includes housing will be supported which meets the optional Building Regulation accessibility standards (or replacement standards) as set out below, unless it can be demonstrated that site-specific factors make achieving this impractical or unviable:

f. ensuring 100% of new dwellings, across all tenures provided, meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings' (or replacement standards) unless it can be demonstrated that site specific factors make this unachievable.

- 7.133 The submitted Design and Access Statement confirms compliance with the requirements of Building Regulations Part M4(2). A condition is recommended to ensure that the

development is built in accordance with these standards and that they are maintained for the life of the development.

### **Water Efficiency**

7.134 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G.

7.135 The applicant has confirmed in a submitted Energy Strategy Statement accompanying the application that the proposed development has been designed in accordance with and will be built in accordance with the LP12 (j) standards. A condition is recommended to ensure that the development is built in accordance with these standards and that they are maintained for the life of the development.

### **Other Matters**

#### Fire and Rescue

7.136 Cambridgeshire Fire and Rescue Service require the provision of fire hydrants; this can be secured through a planning condition.

#### Crime Prevention

7.137 The crime prevention design team have assessed the proposal in terms of community safety, crime, disorder and the fear of crime and have suggested external lighting, cycle parking and landscaping. While cycle parking and landscaping are considered elsewhere in this report, it is considered that lighting can be secured by condition.

#### Infrastructure Requirements and Section 106 Planning Obligations

7.138 The Infrastructure Business Plan 2013/2014 (2013) was developed by the Growth and Infrastructure Group of the Huntingdonshire Local Strategic Partnership. It helps to identify the infrastructure needs arising from development proposed to 2036 through the Core Strategy.

7.139 The CIL regs for S106 contributions sets out 3 statutory tests a planning obligation may only constitute a reason for granting planning permission for the development if the obligation is –

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development; and
- (c) fairly and reasonably related in scale and kind to the development.

7.140 In regard to highway safety, Cambridgeshire County Council's Highways team has advised that a contribution of £4,000 is

required to protect the required visibility splays through the implementation of parking restrictions (double yellow lines) from the site access to opposite the access of the service station. The proposed contribution would ensure highway safety is maintained in accordance with policies LP16 and LP17 of the Huntingdonshire's Local Plan to 2036 and Paragraph 115 of the NPPF (2023) in this regard.

7.141 Officer's consider the required S106 contribution for double yellow lines to protect the required visibility splays is considered to be justified and CIL compliant.

#### -Wheeled Bins

7.142 Each dwelling will require the provision of wheeled bins. The current cost of such provision is £170 per dwelling and is to be secured through the S106 Agreement.

#### -Affordable Housing

7.143 The proposal is for 100% affordable housing comprising 15 dwellings, 7 of which meeting First Homes criteria, 2 would be Shared Ownership dwellings and 5 would be Affordable Rent. In accordance with Policy LP24 of the Local Plan to 2036, the provision of 15 affordable homes will be secured by way of a S106 agreement.

#### -Green Space/Open Space Maintenance

7.144 The Developer Contributions SPD sets out maintenance rates for green space that will cover a fifteen-year period. Developer contributions in line with the final agreed provision of green space would be secured via a Section 106 Agreement. In accordance with the requirements of the Developer Contributions SPD, this would comprise either a commuted sum following the transfer of the Green Space to the Parish Council or the District Council, or the site will be maintained by a maintenance company that would be set up by the developer and funded through contributions from residents of the site (as per the cascade mechanism within the Developer Contributions SPD).

#### Community Infrastructure Levy (CIL)

7.145 The development would be CIL liable in accordance with the Council's adopted charging schedule; CIL payments would cover footpaths and access, health, community facilities, libraries and lifelong learning and education. However, given that the proposal is for 100% affordable housing, the Council would not seek CIL charge in this instance.

Third-party comments not addressed in previous sections

7.146 Comments have been raised by third parties regarding further development and availability of brownfield site/ loss of greenfield site as well as more appropriate sites within the district. The Local Planning Authority must consider the application as submitted and cannot assess potential/alternative development that has not been submitted.

### **Conclusion and Planning Balance**

7.147 As outlined above, all planning applications should be determined in accordance with the development plan unless material considerations indicate otherwise.

7.148 This proposal for 15 dwellings comprising of a scheme of 100% affordable housing on a site outside of, but well-related to the built up area of Spaldwick. The National Planning Policy Framework and the Huntingdonshire Local Plan to 2036 seek development in the countryside only when it accords with strict criteria including the provision of affordable homes in sustainable locations such as Spaldwick. In this case, it is considered that the proposal as a whole meets the criteria set out in Local Plan Policies LP2 (Strategy for Development), LP5 (Flood Risk), LP9 (Small Settlements) LP10 (The Countryside) and LP28 (Rural Exceptions Housing and so is considered acceptable in terms of principle of development.

7.149 The presumption in favour of sustainable development requires proposals to achieve economic, social and environmental gains; as such a balancing exercise must be undertaken to weigh the benefits of the scheme against its disadvantages.

7.150 In terms of the environmental dimension of sustainable development, it is acknowledged that a level of harm would occur through the less than substantial harm to the adjacent Spaldwick Conservation Area by virtue of its design layout and massing and so it is considered that there would be some conflict with Section 72 of the Planning (Listed Buildings and Conservation Areas) 1990 Act, The NPPF section 16, especially paragraphs 202-214 and Huntingdonshire Local Plan Policy LP34 (Heritage Assets). However, in line with the NPPF paragraph 208, which states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use. In this case, *while the proposal would have a degree of harm to the wider Spaldwick Conservation Area, it is considered that on balance, the public benefits of the scheme which include 100% affordable housing provision secured by a S106 agreement would outweigh the less than substantial harm to the setting of the Spaldwick Conservation Area and is therefore on balance acceptable.*

- 7.151 In terms of additional environmental benefits, the proposal delivers, through the biodiversity mitigation and enhancements, a development that is acceptable from a biodiversity perspective and provides additional landscaping. While concerns have been raised regarding flood risk, drainage and sewerage, technical consultees have confirmed that the proposal is acceptable, subject to conditions and it is considered that the proposal does not conflict with Local Plan Policies LP5 and LP15 in this regard.
- 7.152 In terms of the economic dimension of sustainable development, the proposal would contribute towards economic growth, including job creation - during the construction phase and in the longer term through the additional population assisting the local economy through spending on local services/facilities. There will also be additional Council Tax contributions arising from the development.
- 7.153 Regarding the social dimension, the development will deliver 100% affordable housing. There is a local and district wide identified need for affordable housing. This benefit should be afforded substantial weight in the planning balance.
- 7.154 Overall, having fully assessed all three dimensions of sustainable development; economic, social and environmental within this report it is concluded that the development of this site will:
- provide a supply of Affordable Housing to help meet the district's needs;
  - have an acceptable impact on residential amenity;
  - have an acceptable impact upon highway safety subject to a S106 contribution securing the provision of double-yellow lines on High Street and a footway.;
  - promote healthy, active lifestyle through informal green space provision via a landscaped walk which includes a diverted public footway;
  - maximise the available opportunities for use of public transport, walking and cycling to local facilities;
  - manage flood risk and drainage effectively;
  - have no significant adverse impacts on features of landscape or ecological value and will provide a net gain in biodiversity;
- 7.155 Having regard to all relevant material considerations, it is concluded that the proposal would contribute to the economic, social and environmental dimensions of sustainability. Whilst the proposal would result in a degree of environmental harm, there are benefits of the development which are given greater weight

in this instance. It is therefore the view of Officers that the proposal has significant social benefits that outweigh the potential environmental harm. When assessed against the policies in the Local Plan and NPPF taken as a whole, it is recommended that planning permission be granted in this instance.

**8. RECOMMENDATION - APPROVAL, to delegate the authority to officers to complete the signing of a S106 agreement and subject to conditions including the following:**

- Time
- Drawings
- Materials
- Architectural Details
- Hard and Soft Landscaping (Pre-commencement)
- Ground Levels
- Unit 9 Windows
- External Lighting
- Public Rights of Way Scheme (Pre-commencement)
- Fire Hydrants
- Future Management and Maintenance Scheme (Pre-commencement)
- Access Width
- Cambridgeshire County Construction
- Highways Watercourse Scheme (Pre-commencement)
- On-site parking, servicing, loading and unloading
- Construction parking, turning, loading and unloading of all vehicles.
- Visibility Splays
- Access Junction Radius Kerbs
- Access Drainage
- Access road metalled surface 20m
- Traffic Route (Pre-commencement)
- Highways Improvement works
- Archaeological Written Scheme of Investigation (Pre-commencement)
- Surface Water Drainage (Pre-commencement)
- Surface Water Runoff Measures (Pre-commencement)
- Surface Water Drainage System Survey and Report
- Tree Protection Plan (Pre-commencement)
- Tree Protection Monitoring (Pre-commencement)
- Noise Mitigation Scheme (Pre-commencement)
- Construction Environmental Management Plan (Pre-commencement)
- Provision of a wet room/level access shower to Units 10, 11 and 12
- Biodiversity enhancements & Biodiversity Net Gain
- Water Efficiency



- M42 Compliance

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs.

**CONTACT OFFICER:**

Enquiries about this report to **Marie Roseaman Senior Development Management Officer** – [marie.roseaman@huntingdonshire.gov.uk](mailto:marie.roseaman@huntingdonshire.gov.uk)

**From:** [Clerk](#)  
**To:** [REDACTED]  
**Cc:** [REDACTED]  
**Subject:** FW: Planning Permission Consultation - Land East Of Ivy Way Spaldwick (ref 23/01948/FUL)  
**Date:** 16 November 2023 23:53:01  
**Attachments:** [We sent you safe versions of your files.msg](#)  
[23-01948-FUL- 15 dwellings re-submission.pdf](#)

---

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

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[REDACTED]

Following our Council meeting this evening, I can confirm that Spaldwick PC recommends refusal of Land East Of Ivy Way Spaldwick (ref 23/01948/FUL) on the following grounds: flood risk of the area (recent flooding, impact from the Ellington Brook & the ineffective valve, nearby ditches not regularly cleared, the natural downhill slope of the site and it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh surface (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact that it is outside the village boundary so contradicts the HDC Local Plan.

Thank you.  
Kind regards

[REDACTED]

Clerk and RFO to Spaldwick Parish Council

Sent from [Mail](#) for Windows

---

**From:** [Dmadmin@huntingdonshire.gov.uk](mailto:Dmadmin@huntingdonshire.gov.uk)

**Sent:** 23 October 2023 09:17

[REDACTED]

**Subject:** RE: Planning Permission Consultation - Land East Of Ivy Way Spaldwick (ref 23/01948/FUL)

Dear Parish Clerk,

Please find correspondence from Development Management at Huntingdonshire District Council attached to this email in relation to the following application for planning permission.

Proposal: Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)

Site Address: Land East Of Ivy Way Spaldwick

Reference: 23/01948/FUL

Opting out of email correspondence

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If you would prefer not to receive correspondence from us via email you have the right to opt out. If you wish to opt out please contact us at the address provided below so that we can remove your email details from our records.

Keeping safe on the internet  
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You should never open a file attached to an email when you do not trust the sender's authenticity.

We will only contact you via email when you have already contacted us in relation to this specific application (or one directly related to it) and provided your email address as a contact - we will not transfer your contact details between unrelated applications.

If you have any doubts or concerns relating to this email please contact us directly, our contact details are provided below.

Development Management  
Huntingdonshire District Council

T: 01480 388388

E: [dmadmin@huntingdonshire.gov.uk](mailto:dmadmin@huntingdonshire.gov.uk)

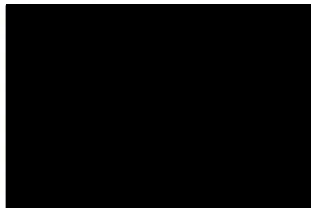
### **Disclaimer**

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This email has been scanned for viruses and malware, and may have been automatically archived

Pathfinder House, St Mary's Street  
Huntingdon. PE29 3TN  
Developmentcontrol@huntingdonshire.gov.uk

01480 388424  
www.huntingdonshire.gov.uk



**Our Ref : 23/01948/FUL**

23rd October 2023

Dear Clerk

**PARISH COUNCIL CONSULTATION – APPLICATION REF. 23/01948/FUL**  
**Construction of 15 no. dwellings with associated access, car parking and landscaping (re-**  
**submission of 23/00649/FUL)**  
**Land East Of Ivy Way Spaldwick**

Enclosed is the form relating to the above application.

I would be grateful to receive any views your Council would wish to make in respect of the proposed development. Any representations made should be representations of the Parish Council as such and not of individuals and should include material planning reasons for any recommendation of approval or refusal.

Residential neighbours abutting the site will be notified of its submission and invited to make comments. I will suggest to them that they may wish to let you have a copy of their comments but would remind you that it is inappropriate to delay your recommendation for this.

I should be pleased to receive your Council's views as soon as possible or in any case by 13th November 2023.

Cont.....

Pathfinder House, St Mary's Street  
Huntingdon. PE29 3TN  
Developmentcontrol@huntingdonshire.gov.uk

01480 388424  
www.huntingdonshire.gov.uk

Head of Planning Services  
Pathfinder House  
St. Mary's Street  
Huntingdon  
Cambridgeshire PE 29 3TN

Application Number: 23/01948/FUL Case Officer Marie Roseaman  
**Proposal: Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 23/00649/FUL)**  
**Location: Land East Of Ivy Way Spaldwick**  
**Observations of Spaldwick Town/Parish Council.**

Please ✓ box as appropriate

Recommend **approval** because ..... (please give relevant planning reasons in space below)

Recommend **refusal** because... (please give relevant planning reasons in space below)  
Flood risk of the area (recent flooding, impact from Ellington Brook + the ineffective valve, nearby ditches not regularly cleared, the natural down hill slope of the site + it being at the lowest point in the village), insufficient surface water storage for the proposed site, the unsuitable nature of the proposed mesh (in relation to clay surface and for an unadopted road), increase in vehicular traffic and highway safety, and the fact it's outside the village boundary so contradicts the No observations either in favour or against the proposal. HDC Local Plan.

██████████ Clerk to Spaldwick Town/Parish Council. (For GDPR purposes please do not sign)

Date :

Failure to return this form within the time indicated will be taken as an indication that the Town or Parish Council do not express any opinion either for or against the application.

Please send response to email address below:-

Developmentcontrol@huntingdonshire.gov.uk

(Development Management)

The application including documents and plans, is also available to view from Huntingdonshire District Council's Web site at <http://www.huntingdonshire.gov.uk/developmentcontrol>

It is also possible to submit any comments you care to make direct from this site to this office. Alternatively, you may submit comments by post, email or fax. The quickest way to submit comments is by e-mail to [developmentcontrol@huntingdonshire.gov.uk](mailto:developmentcontrol@huntingdonshire.gov.uk).

If you wish to discuss this matter further, please contact the team via email to [\*\*developmentcontrol@huntingdonshire.gov.uk\*\*](mailto:developmentcontrol@huntingdonshire.gov.uk).

Yours faithfully  
Clara Kerr  
**Chief Planning Officer**

# Development Management Committee



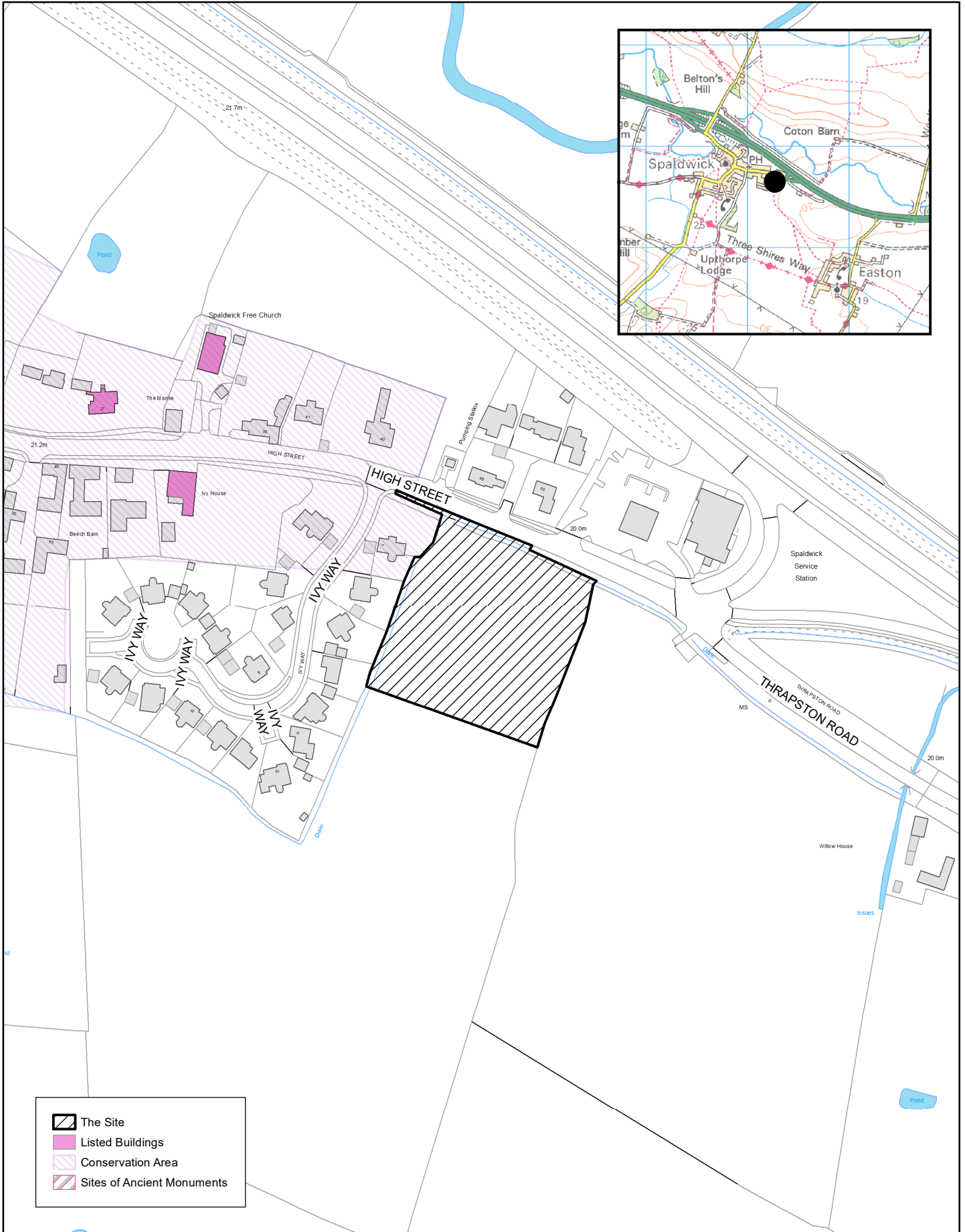
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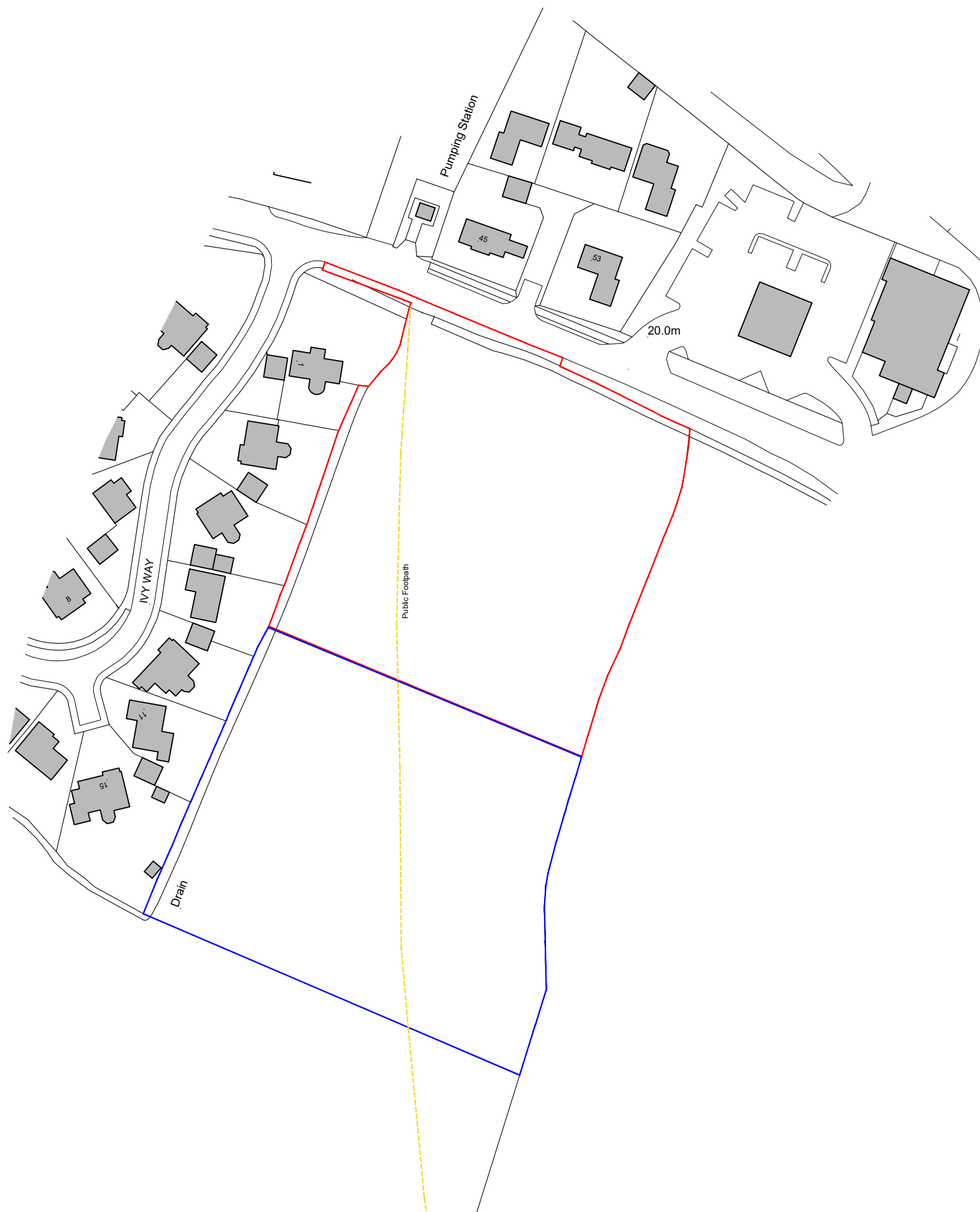
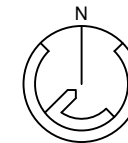
Application Ref:23/01948/FUL

Date Created: 09/04/2024

Location: Spaldwick

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Ordnance Survey HDC 100022322

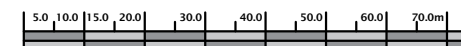




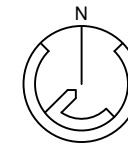
05	19.06.23	Red line updated
04	23.01.23	Overlay of PROW route
03	25.04.22	Issued for planning
02	19.04.22	Red line updated
01	19.04.22	Footpath added
00	27.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Site Location Plan	
DRAWING NUMBER: 0025-000	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:1250	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



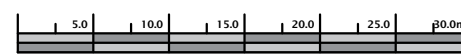


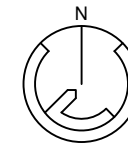


REV:	DATE:	UPDATES:
05	19.06.23	Red line updated
04	22.02.23	Issued for planning
03	25.04.22	Issued for planning
02	06.04.22	Layout Updated
01	07.02.22	Colour Added
00	03.02.22	Issued for information

DRAWING TITLE: Existing Site Plan	
DRAWING NUMBER: 0025-010	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
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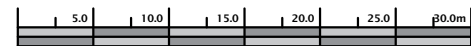
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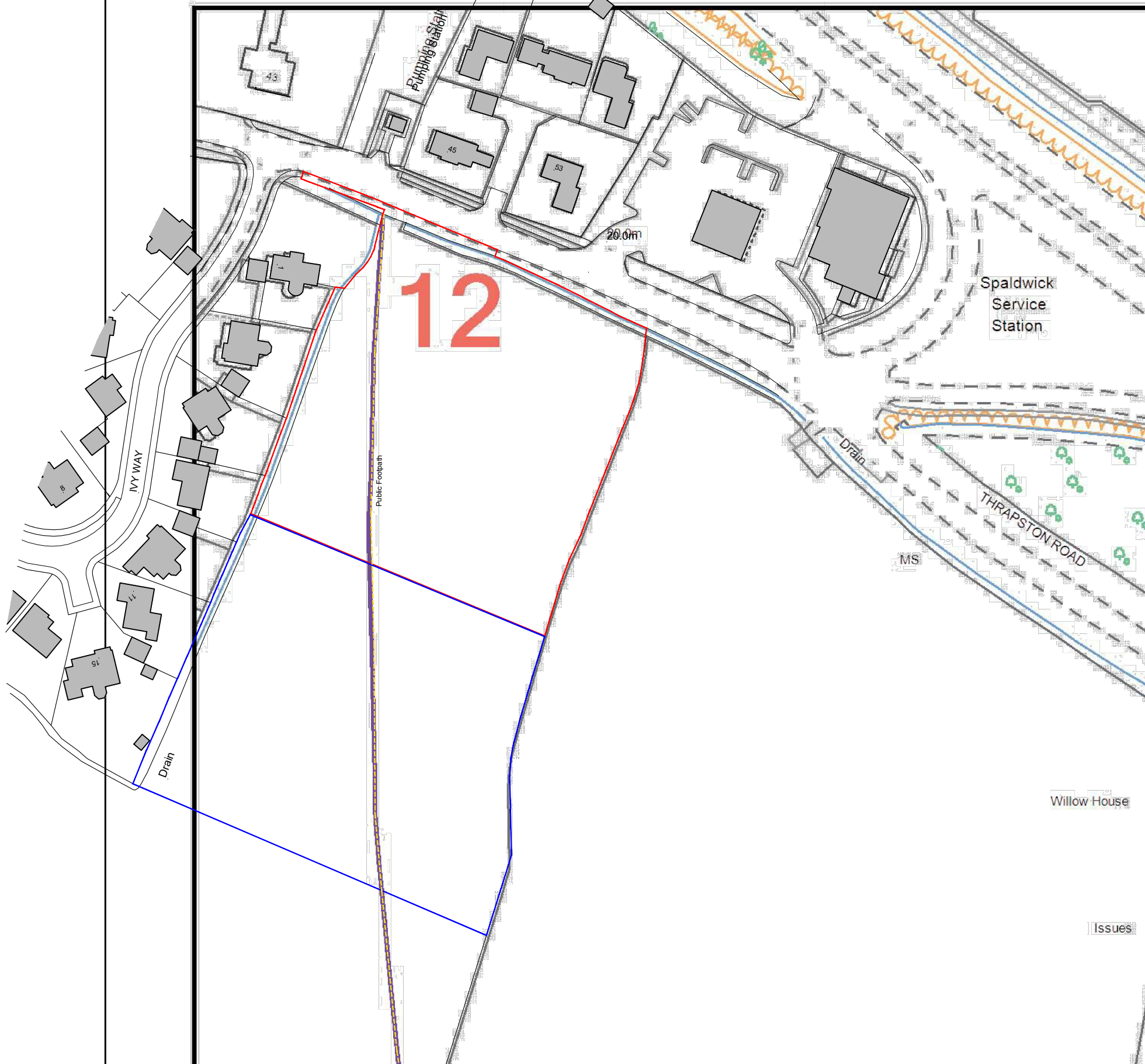
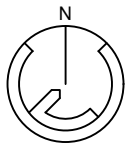


05	19.06.23	Red line updated
04	22.02.23	Issued for planning
03	25.04.22	Issued for planning
02	06.04.22	Layout Updated
01	07.02.22	Colour Added
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Existing Site Plan	
DRAWING NUMBER: 0025-010	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



# Cambridgeshire County Council

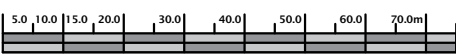


00	22.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Footpath Overlay	
DRAWING NUMBER: 0025-001	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:1250	PAPER SIZE: A3

Issues

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**PLANTING SCHEDULE**

Trees			
Species	Specification	Girth	Height
Acer campestre	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Alnus glutinosa	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Amelanchier lamarckii	Multi Stemmed; 3 Stems; RB	14-16cm	
Betula utilis jacquemontii	Multi Stemmed; 3 Stems; RB	14-16cm	
Carpinus betulus	Extra Heavy Standard; 200cm Clear Stem, RB	16-18cm	4.5 - 5.0m
Liquidambar styraciflua	Extra Heavy Standard; 200cm Clear Stem, RB	16-18cm	4.0 - 5.0m
Prunus avium	Heavy Standard; 175cm Clear Stem, RB	14-16cm	3.5 - 4.0m
Prunus cerasifera 'Nigra'	Extra Heavy Standard; 200cm Clear Stem, RB	12-14cm	3.0 - 3.5m

Shrubs				
Species	Specification	Height	Pot Size	Density
Choisya ternata	Bushy; 3/4 Breaks	30-40cm	3L	5/m <sup>2</sup>
Cornus stolonifera 'Flaviramea'	Branched; 3/5 Breaks	40-60cm	3L	3/m <sup>2</sup>
Lavandula angustifolia 'Hidcote'	Bushy; 3/4 Breaks	20-30cm	3L	5/m <sup>2</sup>
Pachysandra terminalis 'Variegata'	Bushy; 2/3 Breaks	20-30cm	3L	4/m <sup>2</sup>
Pyracantha 'Orange Glow'	Bushy; 3/4 Breaks	30-40cm	3L	4/m <sup>2</sup>
Vinca minor	C. Bushy; 3/4 Breaks	20-30cm	3L	15/m <sup>2</sup>

Species-rich Native Hedgerow					
Species	Specification	Height	Pot Size	Density	Mix
Acer campestre	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	10%
Cornus sanguinea	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	10%
Corylus avellana	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	15%
Ilex aquifolium	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	25%
Prunus spinosa	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	25%
Sambucus nigra	Branched; 2 Breaks; 1+1	40-60cm	Br	5/linear m	15%

Species within hedge mixes to be planted in groups of 5, 7 or 9 in double staggered row, 450mm between rows and 300mm between plants

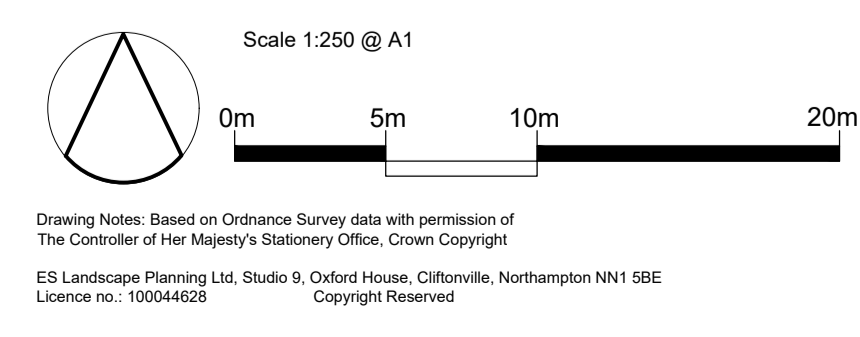
Native Shrub Mix					
Species	Specification	Height	Pot Size	Density	Mix
Corylus avellana	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m <sup>2</sup>	25%
Crataegus monogyna	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m <sup>2</sup>	25%
Prunus spinosa	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m <sup>2</sup>	20%
Viburnum lantana	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m <sup>2</sup>	15%
Viburnum opulus	Branched; 2 Breaks; 1+1	40-60cm	Br	3/m <sup>2</sup>	15%

Species within shrub mixes to be planted in groups of 5, 7 or 9

Grass Mixes		
Type	Mix	Specification
Flowering Lawn	Emorsgate EL1 Flowering Lawn Mixture	Sown at 40kg / ha
Native Wildflower Grass Mix	Landlife Wildflowers LWXM Dual Purpose 70/30 Wildflower Meadow Mix	Sown at 40kg / ha

Bulb Mix		
Species	Density	Mix
Hyacinthoides non-scripta	10/m <sup>2</sup>	20%
Narcissus 'Dutch Master'	10/m <sup>2</sup>	40%
Tulipa 'Ballarina'	10/m <sup>2</sup>	20%
Tulipa 'Spring Green'	10/m <sup>2</sup>	20%

Species within bulb mixes to be planted randomly



**Revisions**

Rev.	Date	Summary
A	13.04.2022	Footway extended to Ivy Way
B	14.04.2022	Private drive surfacing amended
C	14.04.2022	Attenuation basin removed
D	19.04.2022	Planting amended to accommodate 5m access along western boundary
E	20.03.2023	Revised to new architects layout
F	23.03.2023	Revised to Urban Design Officers Comments

**Key**

[Red Line]	Site Boundary	[Green Circle]	Proposed Shrub	[Orange Line]	1.8m High Brick Wall	[Brown Area]	Gravel Footpath
[Blue Line]	Existing Vegetation	[Green Square]	Proposed Flowering Lawn	[Blue Line]	1.8m High Timber Closed Board Fence	[Yellow Area]	Buff Paving Slab Front Paths & Patios
[Green Circle]	Proposed Trees	[Green Square]	Proposed Native Wildflower Mix	[Grey Area]	Tarmac Road / Footway - Highway to be porous as per Engineer's spec	[Grey Area]	Non-Porous Private Drive - as per Engineer's spec
[Green Circle]	Proposed Hedge	[Green Square]	Visibility Splay	[Grey Area]	Block Paved Parking Bays / Private Drives - to be porous as per Engineer's spec		
[Green Circle]	Proposed Bulb Mix						

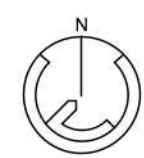
**DISCLAIMER**  
 The information contained in this drawing is for the use of the client only. It is not to be used for any other purpose without the written consent of the author. The author shall not be held responsible for any errors or omissions in this drawing. The client shall be responsible for the accuracy of the information provided to the author. The author shall not be held responsible for any damage or loss resulting from the use of this drawing. The client shall be responsible for the accuracy of the information provided to the author. The author shall not be held responsible for any damage or loss resulting from the use of this drawing.

**ES LANDSCAPE PLANNING**  
 Part of the ES Group

**Green Street, Spaldwick  
 Hard & Soft Landscape Plan**

**Blenheim Land & Homes Ltd**

Drawing Ref: 10480L.HSLP.001 Rev. F  
 Date: Apr 2022 Drawn: GC Checked: AM



**Key**

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m <sup>2</sup> ]	GIA [ft <sup>2</sup> ]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

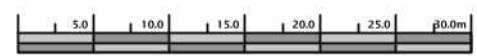
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

Site Area | 8,184m<sup>2</sup> | 2.02Acres | 0.81ha  
 Density | 12.5u/ha | 6,459ft<sup>2</sup> per acre

07	09.11.23	Updated with LA highways comments
06	19.06.23	Red line updated
05	21.03.23	Issued for planning
04	21.02.23	Issued for planning
03	25.01.23	Updated to revised layout
02	25.04.22	Issued for planning
01	06.04.22	Issued for information
00	17.03.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan   Drainage	
DRAWING NUMBER: 0025-101	REVISION: 07
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

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IVY WAY

53

1

Red dashed line indicates 9m from top of ditch

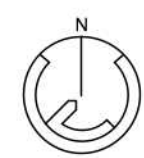
600mm wide culvert to site access

Red dashed line indicates 9m from top of ditch

Red dashed line indicates 9m from top of ditch

Red dashed line indicates 9m from top of ditch

Red dashed line indicates 9m from top of ditch



**Key**

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m <sup>2</sup> ]	GIA [ft <sup>2</sup> ]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

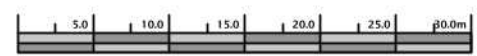
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

Site Area | 8,184m<sup>2</sup> | 2.02Acres | 0.81ha  
 Density | 12.5u/ha | 6,459ft<sup>2</sup> per acre

18	09.11.23	Updated with LA highways comments
17	19.06.23	Red line updated
16	21.03.23	Issued for planning
15	21.02.23	Issued for planning
14	08.02.23	Layout updated with UD officer comments
13	25.01.23	Shared surface updated in line with CCC design guide
12	25.01.23	Dimensions added to South & East boundaries
11	23.01.23	Alterations further to discussions with LPA
10	19.01.23	Tenure shown
09	16.01.23	Layout reduced to 15 units
08	06.09.22	Dropped kerb note added to eastern side of site access
07	25.04.22	Issued for planning
06	06.04.22	Issued for information
05	18.03.22	Issued for information
04	10.03.22	Distance to top of drainage ditches added
03	28.02.22	RPA added to drawing
02	22.02.22	Updated with drainage information
01	03.02.22	Updated with survey information
00	28.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan	
DRAWING NUMBER: 0025-100	REVISION: 18
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS





**Key**

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m <sup>2</sup> ]	GIA [ft <sup>2</sup> ]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

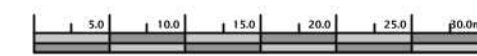
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

Site Area | 8,184m<sup>2</sup> | 2.02Acres | 0.81ha  
 Density | 12.5u/ha | 6,459ft<sup>2</sup> per acre

06	09.11.23	Updated with LA highways comments
05	19.06.23	Red line updated
04	21.03.23	Issued for planning
03	21.02.23	Issued for planning
02	25.04.22	Issued for planning
01	06.04.22	Issued for information
00	18.03.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan   Trees	
DRAWING NUMBER: 0025-102	REVISION: 06
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS

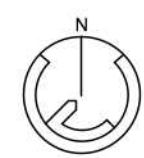


IVY WAY

53

1

4



**Key**

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m <sup>2</sup> ]	GIA [ft <sup>2</sup> ]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

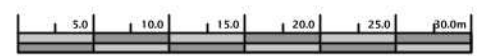
- Unit Type A1 | 2B | 4p
- Unit Type A2 | 2B | 4p
- Unit Type B1 | 3B | 5p
- Unit Type C1 | 1B | 2p [Bungalow]
- Unit Type C2 | 2B | 3p [Bungalow]
- Bin Store
- Cycle Store

Site Area | 8,184m<sup>2</sup> | 2.02Acres | 0.81ha  
 Density | 12.5u/ha | 6,459ft<sup>2</sup> per acre

04	09.11.23	Updated with LA highways comments
03	19.06.23	Red line updated
02	21.03.23	Issued for planning
01	21.02.23	Issued for planning
00	06.06.22	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan   Dimensions	
DRAWING NUMBER: 0025-103	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



IVY WAY

53

1

4





**Key**

Accommodation Schedule				
Number	Type	Bedrooms	GIA [m <sup>2</sup> ]	GIA [ft <sup>2</sup> ]
1	A2	2	83.6	899.9
2	A1	2	79.8	859.0
3	B1	3	96.6	1039.8
4	B1	3	96.6	1039.8
5	A1	2	79.8	859.0
6	A2	2	83.6	899.9
7	A1	2	79.8	859.0
8	A1	2	79.8	859.0
9	B1	3	96.6	1039.8
10	C2	2	62.0	667.4
11	C1	1	50.0	538.2
12	C2	2	62.0	667.4
13	A1	2	79.8	859.0
14	A1	2	79.8	859.0
15	B1	3	96.6	1039.8
Total GIA			1206.4	12985.7

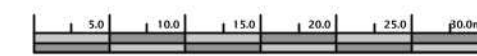
- Affordable Rent
- Shared Ownership
- First Home



02	09.11.23	Updated with LA highways comments
01	19.06.23	Red line updated
00	30.03.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Site Plan   Tenure	
DRAWING NUMBER: 0025-104	REVISION: 02
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:500	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS





INDICATIVE



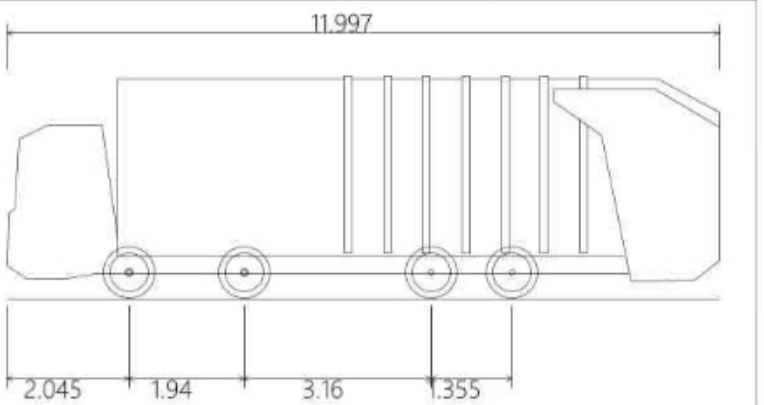
45

53



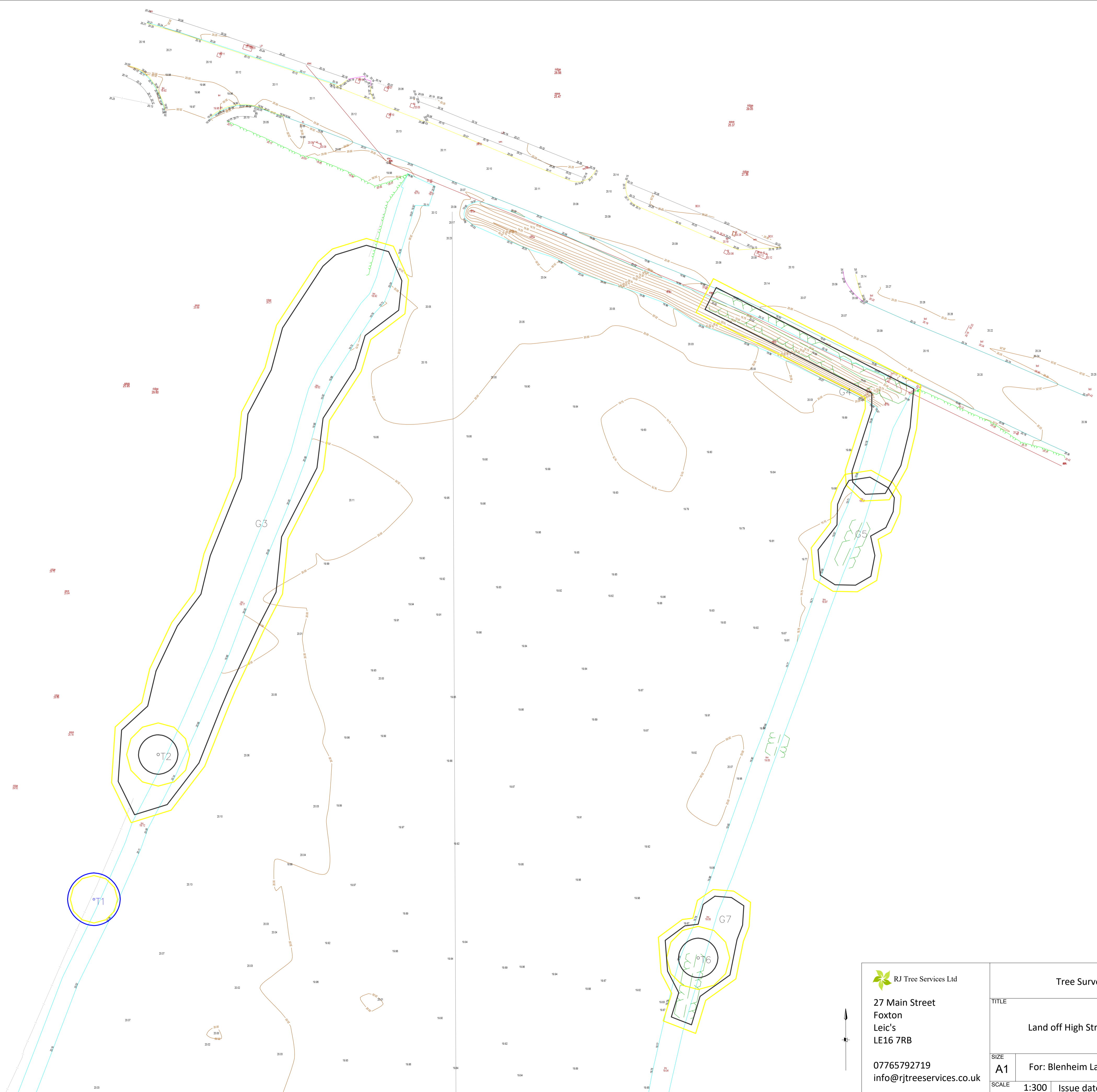
High Street, Spaldwick - Swept-Path  
Analysis of Refuse Vehicle

1:250 @ A1  
Rev A



Vulture 3025(N) (with Scania P94GB 8x4 NB300 chassis)	11.997m
Overall Length	11.997m
Overall Width	2.500m
Overall Body Height	3.749m
Min Body Ground Clearance	0.302m
Track Width	2.490m
Lock to lock time	4.00%
Kerb to Kerb Turning Radius	10.800m





**Key**

- A Category Trees & Groups
- C Category Trees & Groups
- B Category Trees & Groups
- U Unsuitable for Retention Category Trees & Groups
- Hedgerows
- Root Protection Areas (RPA)

RJ Tree Services Ltd  
 27 Main Street  
 Foxton  
 Leic's  
 LE16 7RB  
 07765792719  
 info@rjtreasureservices.co.uk

<b>Tree Survey &amp; Constraints Plan 02</b>	
TITLE Land off High Street, Spaldwick, Cambs, PE28 0TD	
SIZE A1	For: Blenheim Land and Homes Ltd
SCALE 1:300	Issue date: April 2022

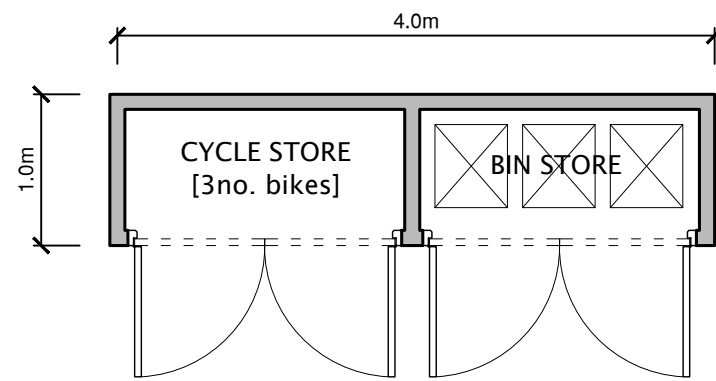


Side Elevation

Front Elevation

Side Elevation

Rear Elevation



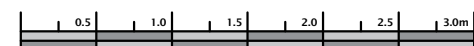
Ground Floor Plan

**MATERIAL KEY**

1. Vertical timber cladding
2. Timber doors
3. Felt roof

00	23.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Bin & Bike Store   Plan & Elevations	
DRAWING NUMBER: 0025-120	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:50	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	





Street Elevation 01



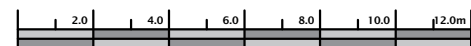
Street Elevation 02

KEY

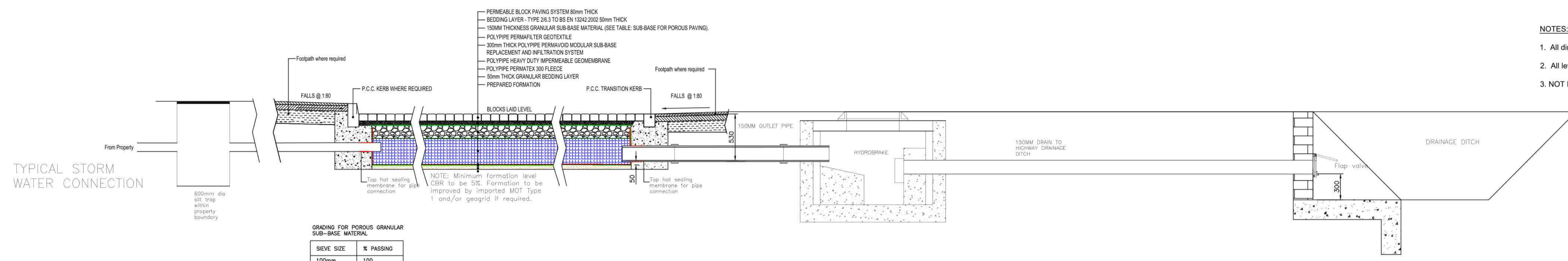


02	22.02.23	Issued for planning
01	25.04.22	Issued for planning
00	18.03.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Proposed Street Elevations	
DRAWING NUMBER: 0025-300	REVISION: 02
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:200	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



DRAWING STATUS						
For Approval						
DESCRIPTION	REV.	DATE	DR'N	CHK'D	APP'D	
ORIGINAL ISSUE	O	1/4/22	SW	SW	SW	
Revised	A	14/4/22	SW	SW	SW	
Revised	B	4/10/22	SW	SW	SW	
Revised	C	30/5/23	SW	SW	SW	
Revised	D	14/6/23	SW	SW	SW	
Revised	E	25/7/23	SW	SW	SW	
Drainage note added	F	9/8/23	SW	SW	SW	

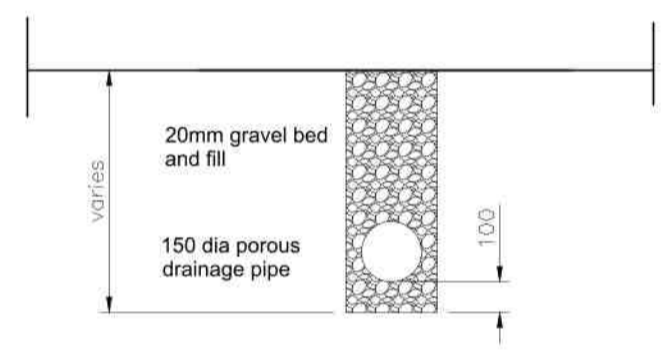


- NOTES:**
- All dimensions are in mm unless otherwise stated
  - All levels are in m AOD
  - NOT FOR CONSTRUCTION

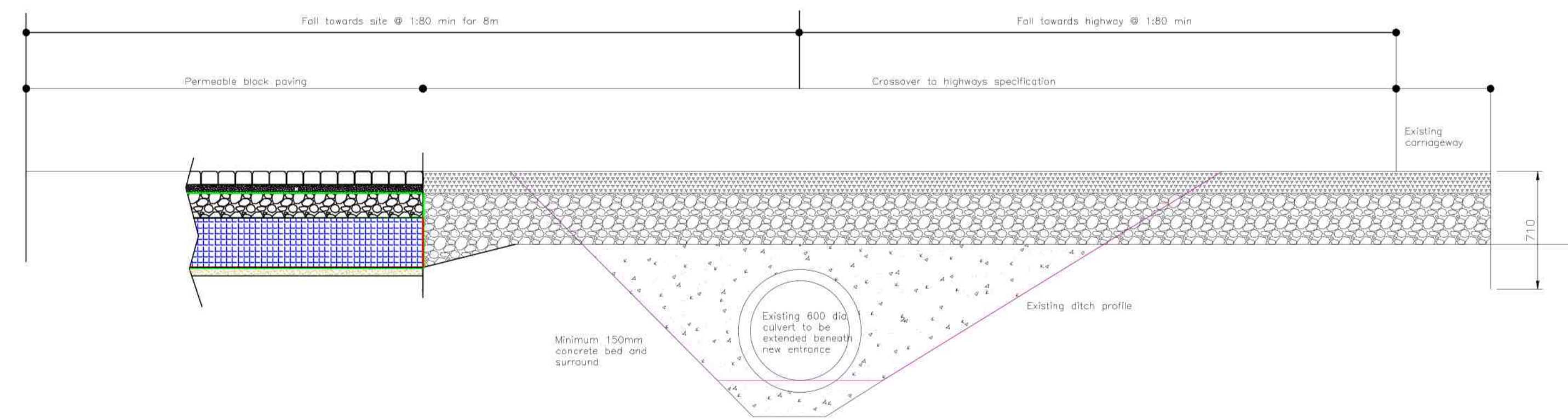
**GRADING FOR POROUS GRANULAR SUB-BASE MATERIAL**

SIEVE SIZE	% PASSING
100mm	100
63mm	90-100
37.5mm	60-80
20mm	15-30
10mm	0-5

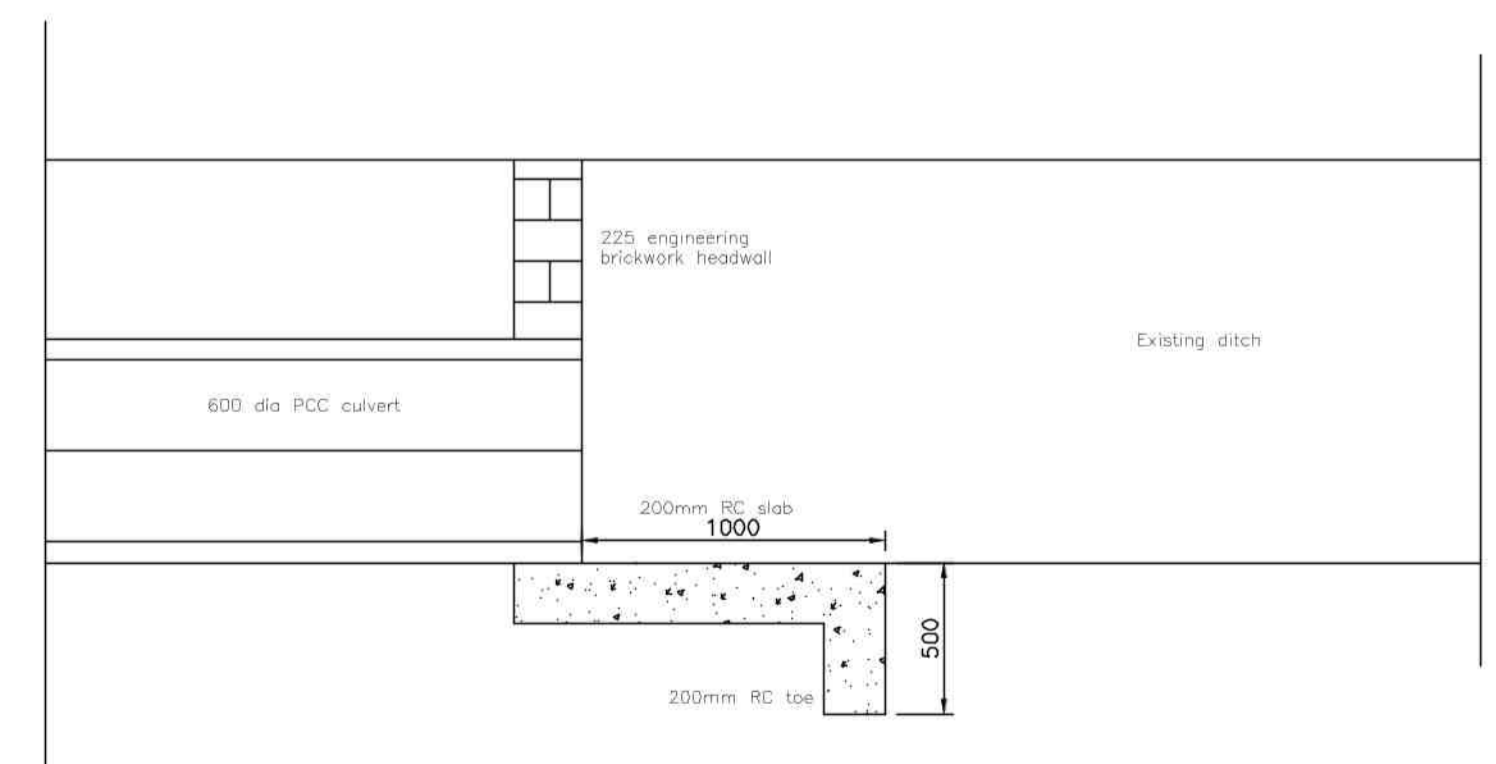
TYPICAL SECTION THROUGH PERMEABLE BLOCK PAVING INCORPORATING POLYPIPE PERMAVOID SUB-BASE REPLACEMENT ATTENUATION SYSTEM



TYPICAL FILTER DRAIN



DETAIL OF CROSSING OF ROADWAY OVER EXISTING DITCH

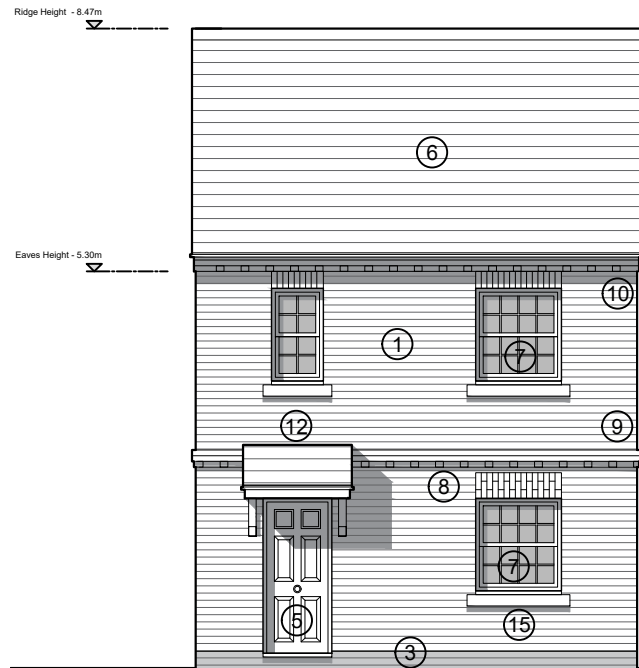


DETAIL OF PROPOSED HEADWALL

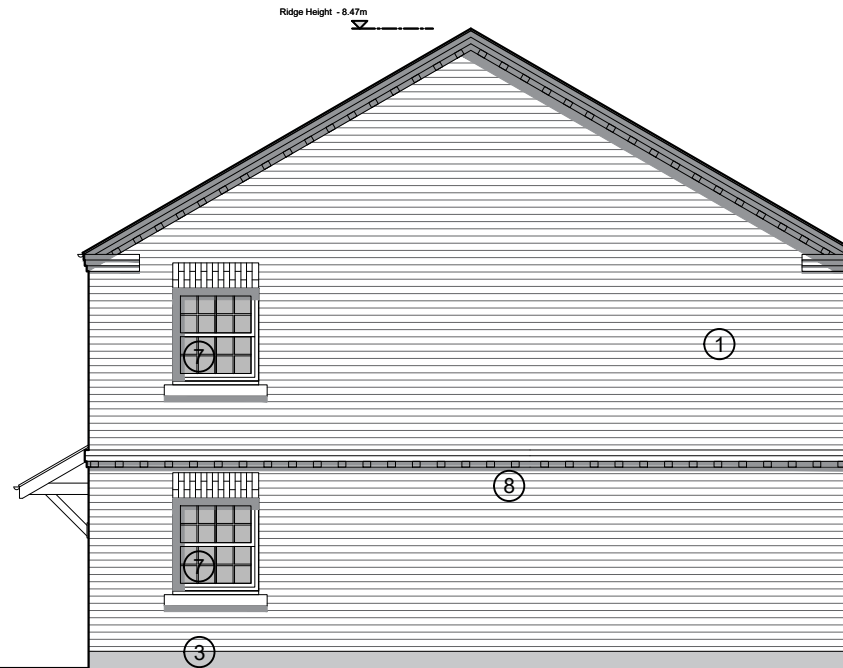
**FENLAND HYDROTECH**  
 11, Old Dry Lane  
 Brigstock,  
 KETTERING,  
 NORTHAMPTONSHIRE,  
 NN14 3JH  
 TEL - 01832 734612  
 WEB - www.fenhydro.co.uk

CLIENT	Blenheim Land and Homes Ltd		
PROJECT	Proposed Residential Development Land adjacent to Ivy Way, Spaldwick		
TITLE	Drainage details		
DRAWING SIZE	A1	CONTRACT No.	
SCALE/S	1:25	DRAWING No.	FH1537/P/102
		REV.	F

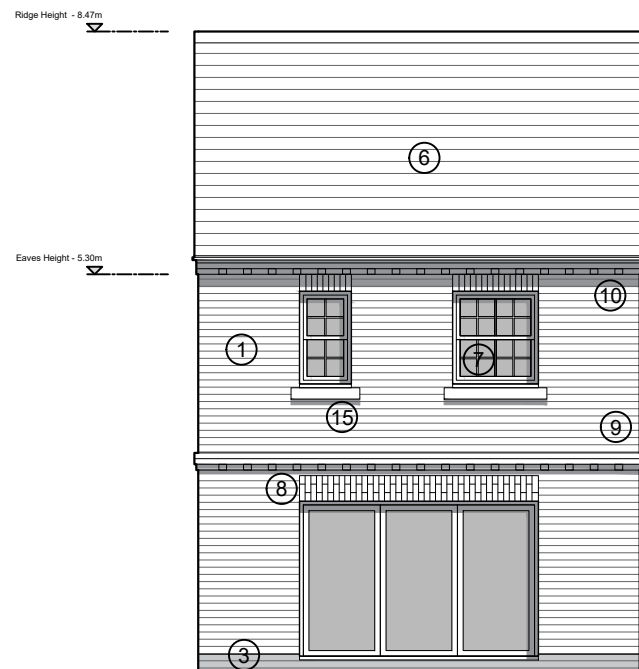
- Material Key**
1. Red brick
  2. Buff brick
  3. Painted brick (Black)
  4. Render
  5. Composite front door
  6. Concrete tiles
  7. Coloured UPVC windows & doors
  8. Brick header detail
  9. Brick string course
  10. Brick eaves & verge detail
  11. Exposed rafter feet to eaves & fascia board to verge
  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



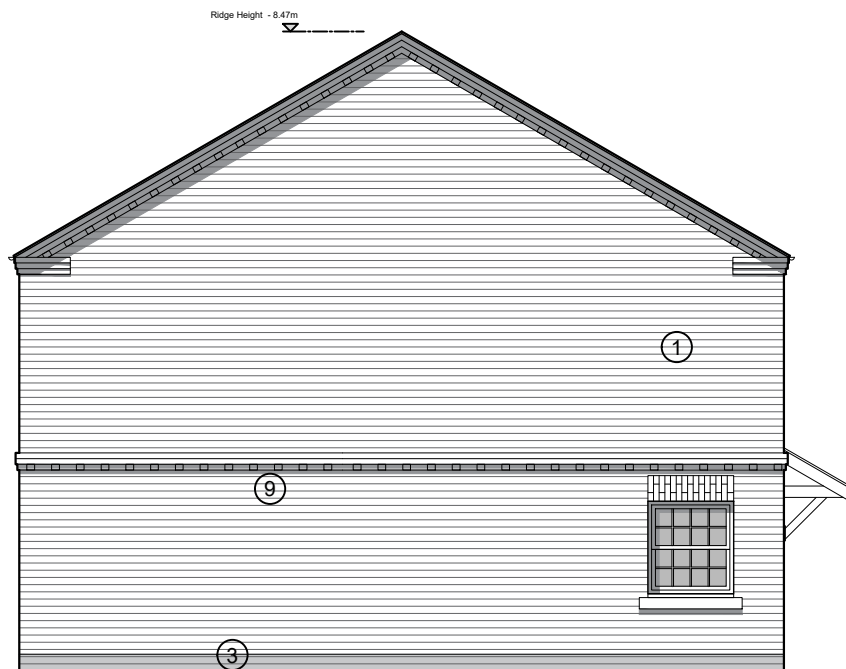
Front Elevation



Side Elevation



Rear Elevation

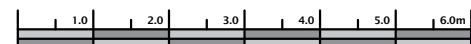


Side Elevation

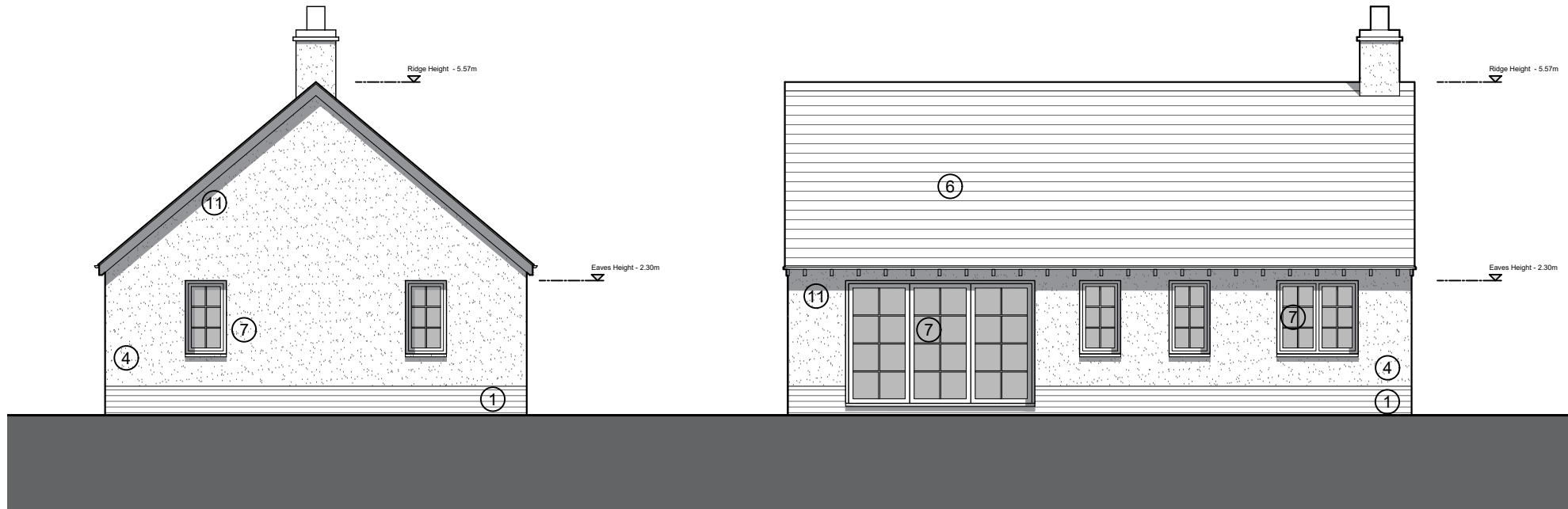
00	22.02.23	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 9   Elevations	
DRAWING NUMBER: 0025-328	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS

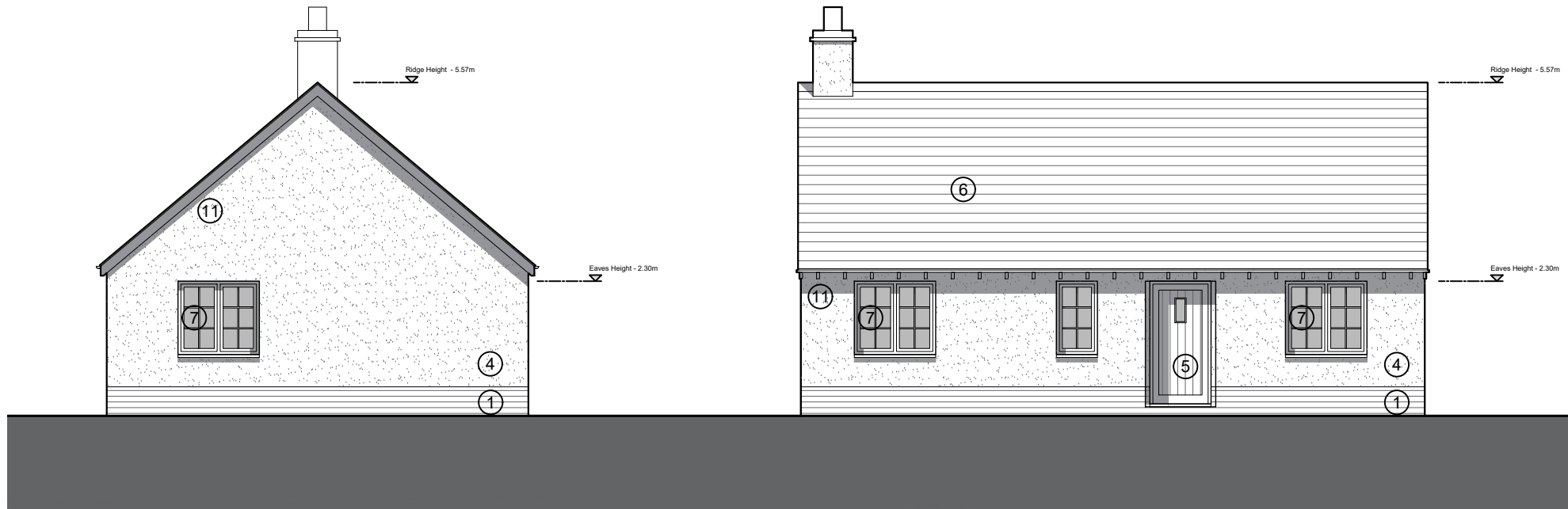


- Material Key**
1. Red brick
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  4. Render
  5. Composite front door
  6. Concrete tiles
  7. Coloured UPVC windows & doors
  8. Brick header detail
  9. Brick string course
  10. Brick eaves & verge detail
  11. Exposed rafter feet to eaves & fascia board to verge
  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



Side Elevation

Rear Elevation

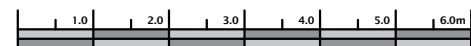


Side Elevation

Front Elevation

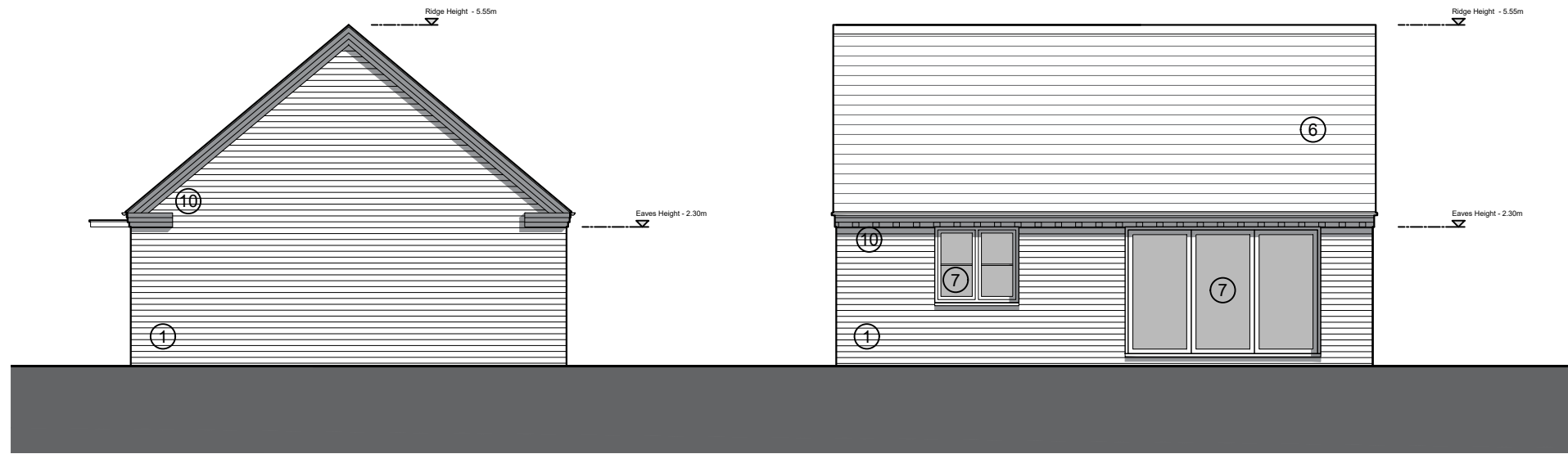
04	21.02.23	Unit number and type changed
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 10   Elevations	
DRAWING NUMBER: 0025-317	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



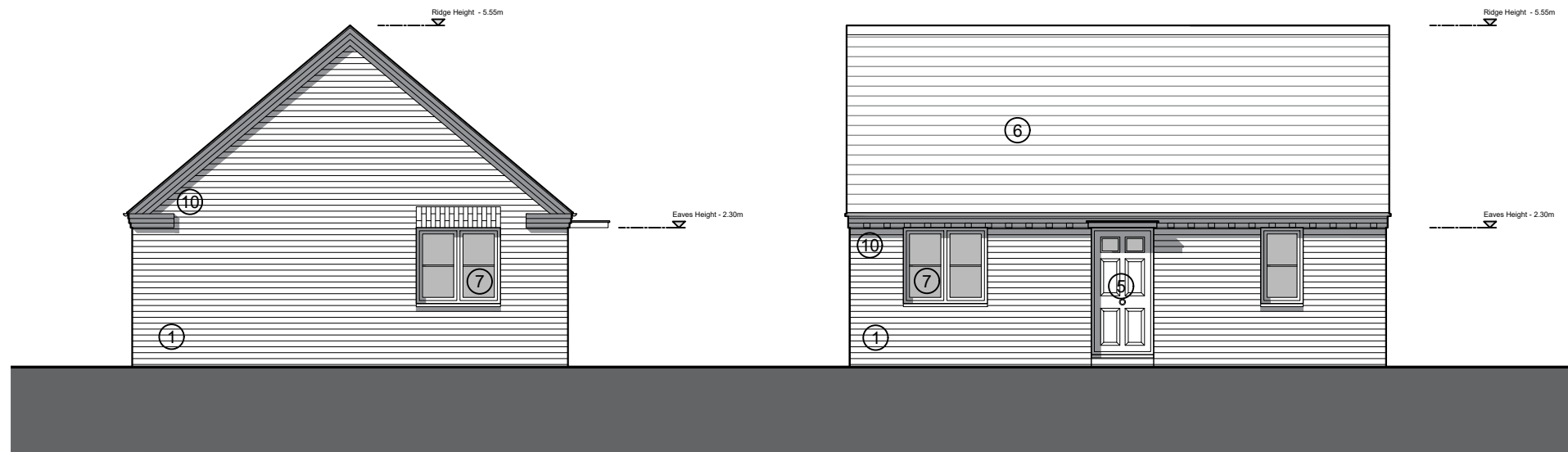


- Material Key**
1. Red brick
  2. Buff brick
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  4. Render
  5. Composite front door
  6. Concrete tiles
  7. Coloured UPVC windows & doors
  8. Brick header detail
  9. Brick string course
  10. Brick eaves & verge detail
  11. Exposed rafter feet to eaves & fascia board to verge
  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



Side Elevation

Rear Elevation

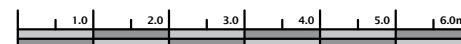


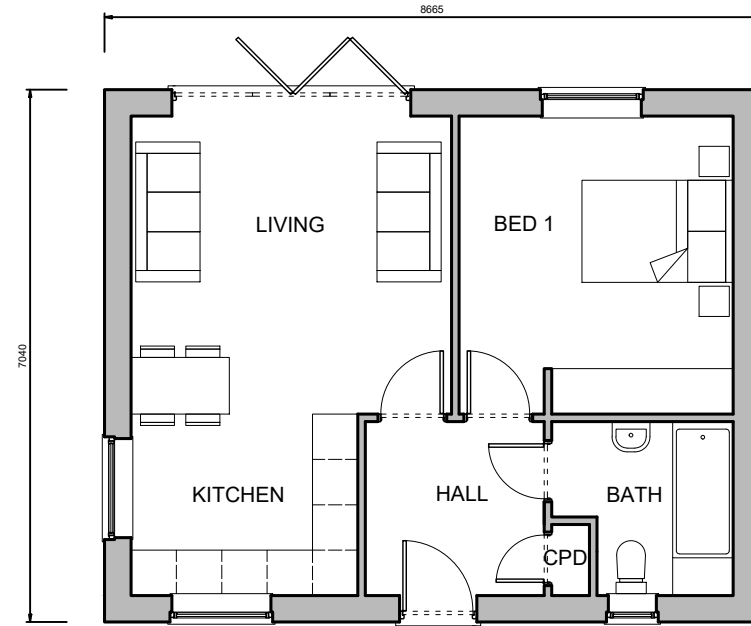
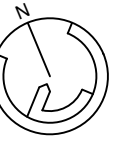
Side Elevation

Front Elevation

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 11   Elevations	
DRAWING NUMBER: 0025-318	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	

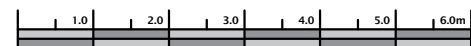




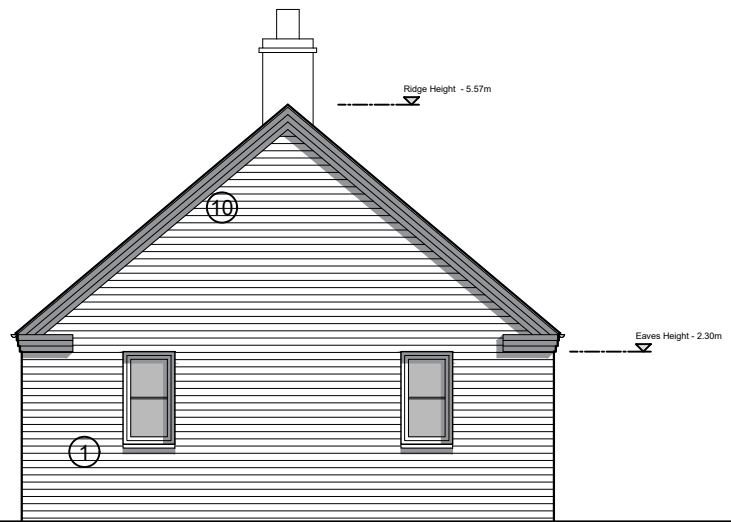
Ground Floor Plan (Bungalow)

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

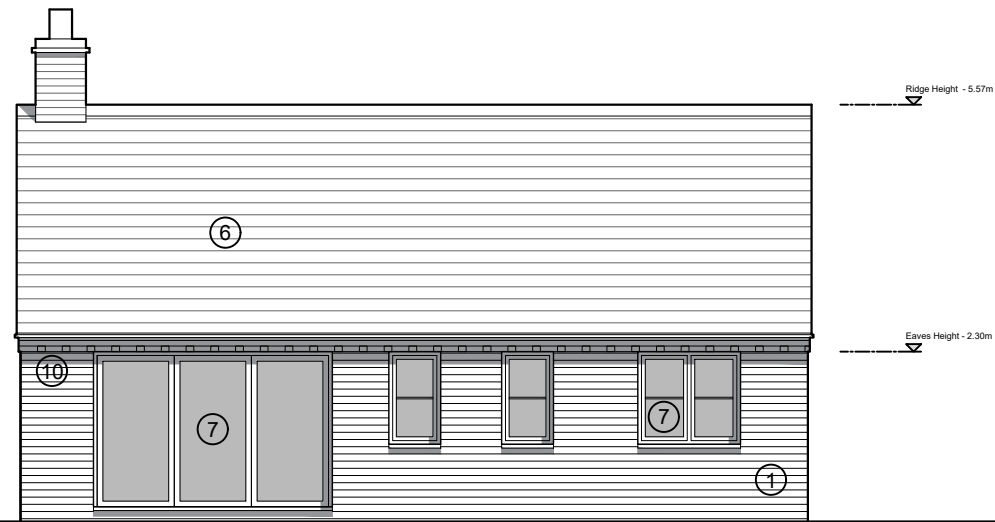
DRAWING TITLE: Unit 11   Floor Plans	
DRAWING NUMBER: 0025-118	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



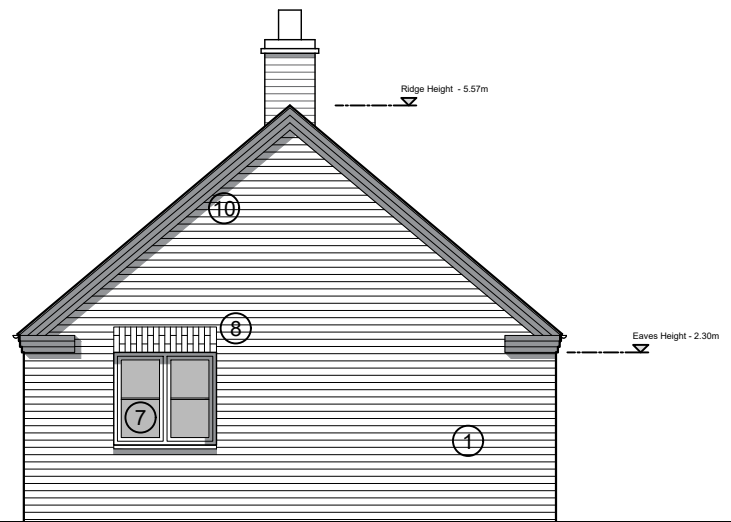
- Material Key**
1. Red brick
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  4. Render
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  6. Concrete tiles
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  11. Exposed rafter feet to eaves & fascia board to verge
  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



Side Elevation



Rear Elevation



Side Elevation

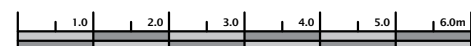


Front Elevation

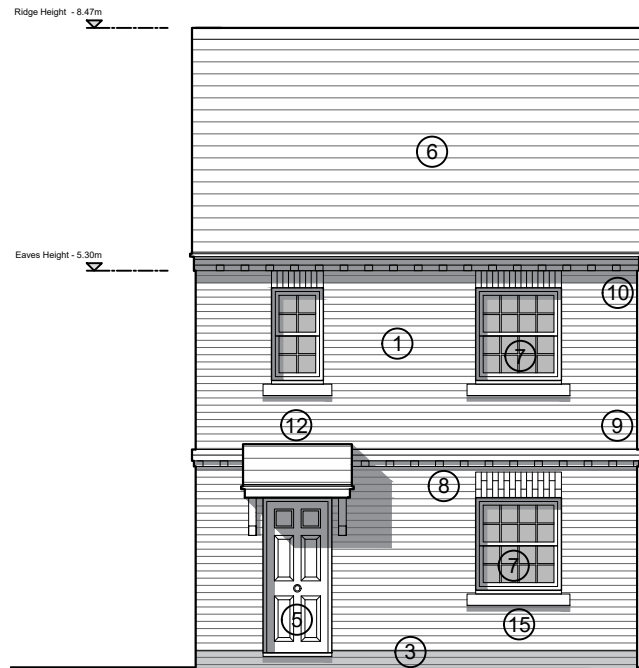
00	21.02.23	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Unit 12   Elevations	
DRAWING NUMBER: 0025-327	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

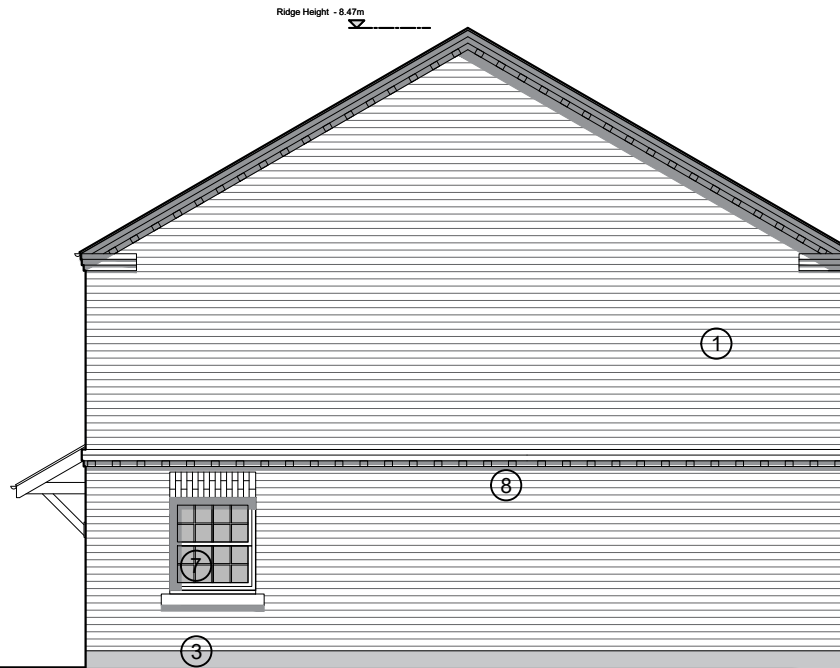
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS



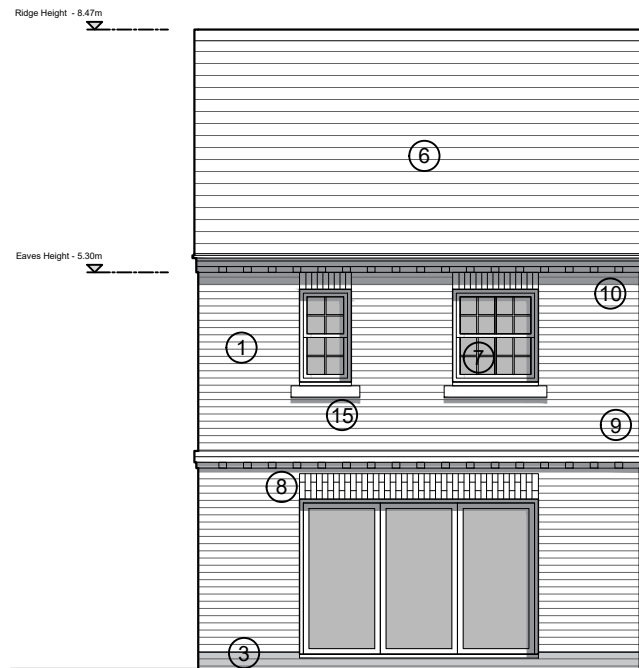
- Material Key**
1. Red brick
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  4. Render
  5. Composite front door
  6. Concrete tiles
  7. Coloured UPVC windows & doors
  8. Brick header detail
  9. Brick string course
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  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



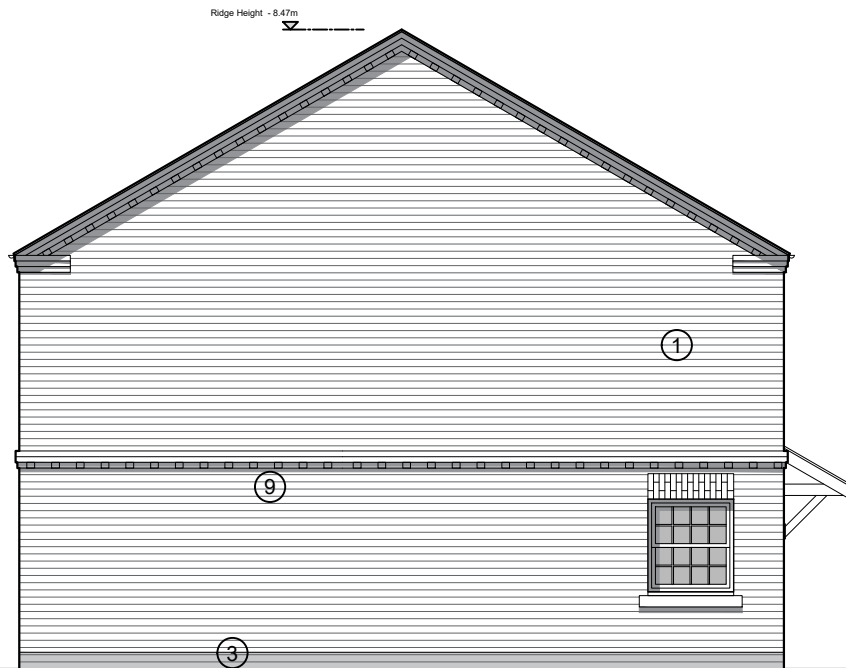
Front Elevation



Side Elevation



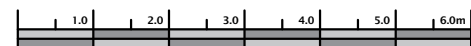
Rear Elevation

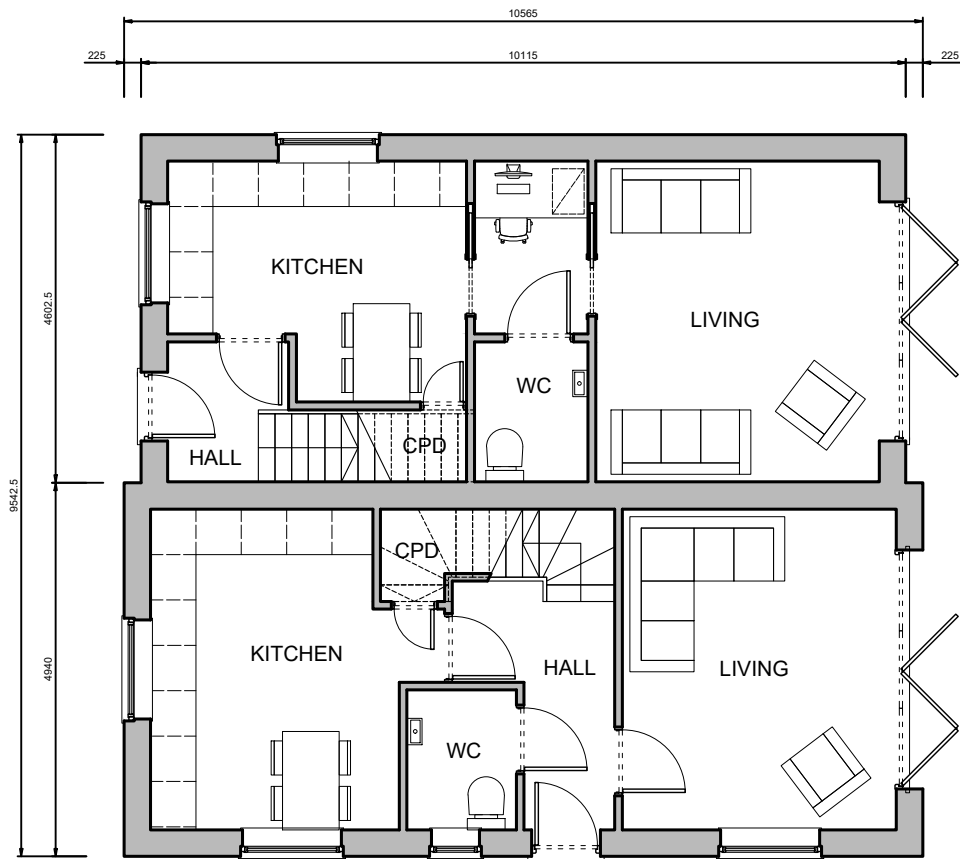
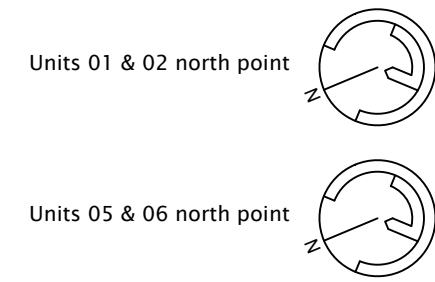


Side Elevation

REV:	DATE:	UPDATES:
04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information

DRAWING TITLE: Unit 15   Elevations	
DRAWING NUMBER: 0025-314	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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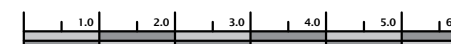
Ground Floor Plan  
(Units 5 & 6 mirrored)



First Floor Plan  
(Units 5 & 6 mirrored)

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

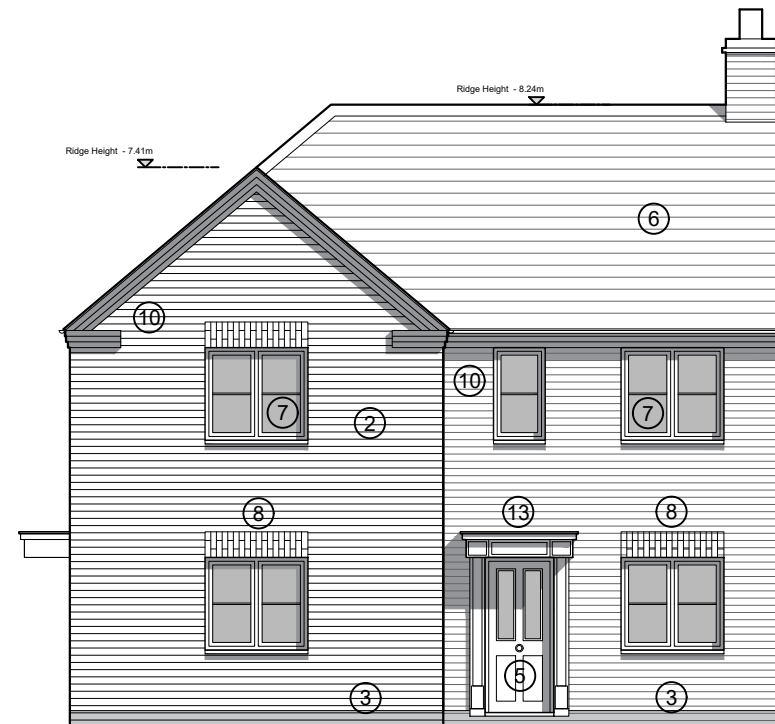
DRAWING TITLE: Units 01, 02, 05 & 06   Floor Plans	
DRAWING NUMBER: 0025-111	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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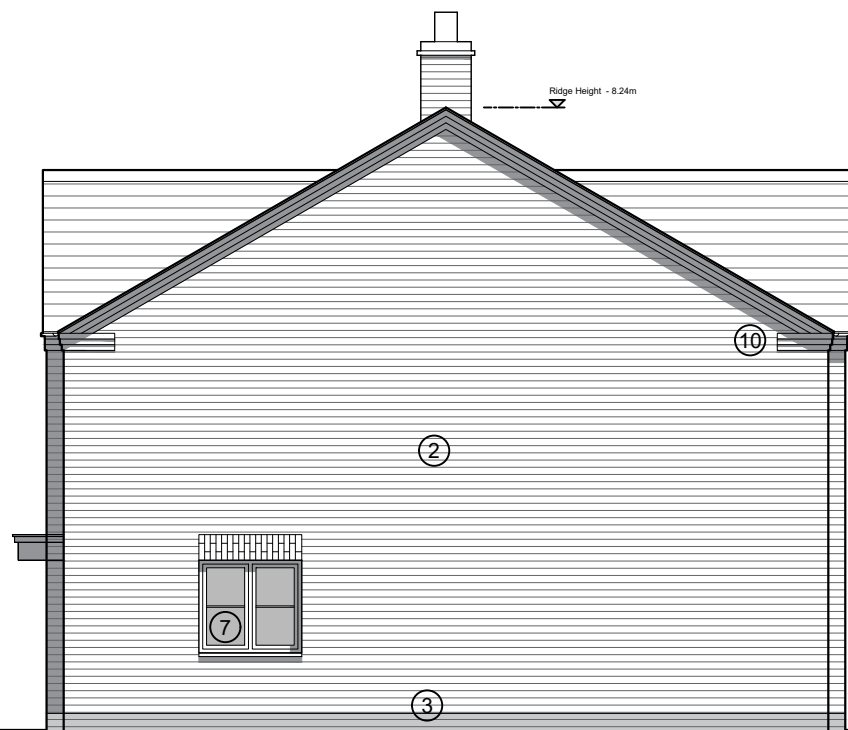
- Material Key**
1. Red brick
  2. Buff brick
  3. Painted brick (Black)
  4. Render
  5. Composite front door
  6. Concrete tiles
  7. Coloured UPVC windows & doors
  8. Brick header detail
  9. Brick string course
  10. Brick eaves & verge detail
  11. Exposed rafter feet to eaves & fascia board to verge
  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



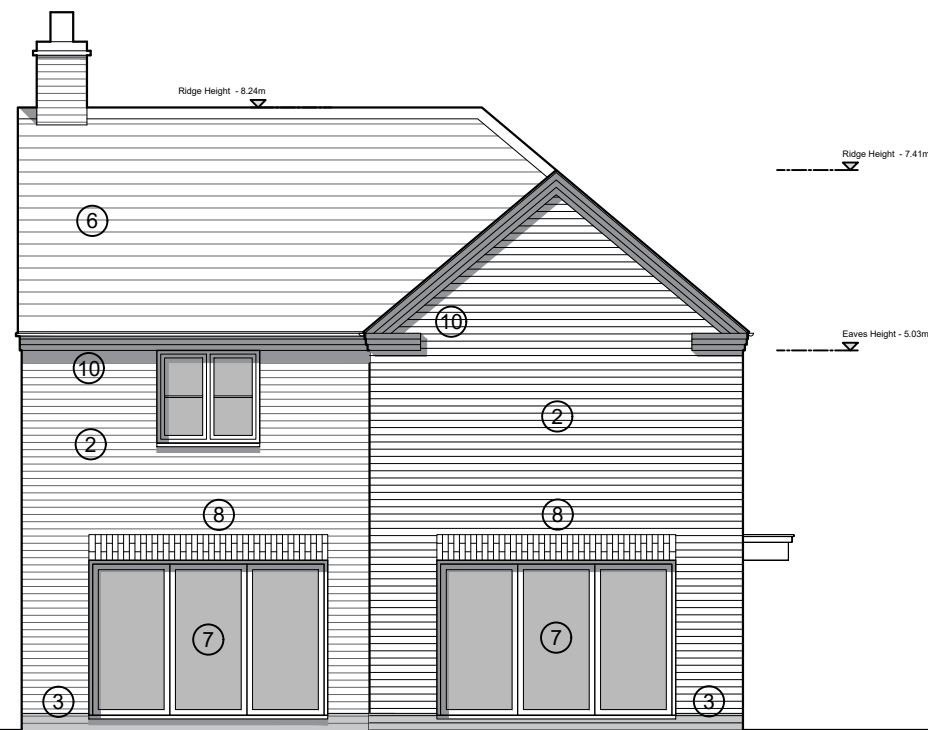
Front Elevation



Side Elevation



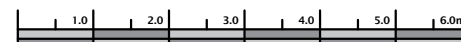
Rear Elevation

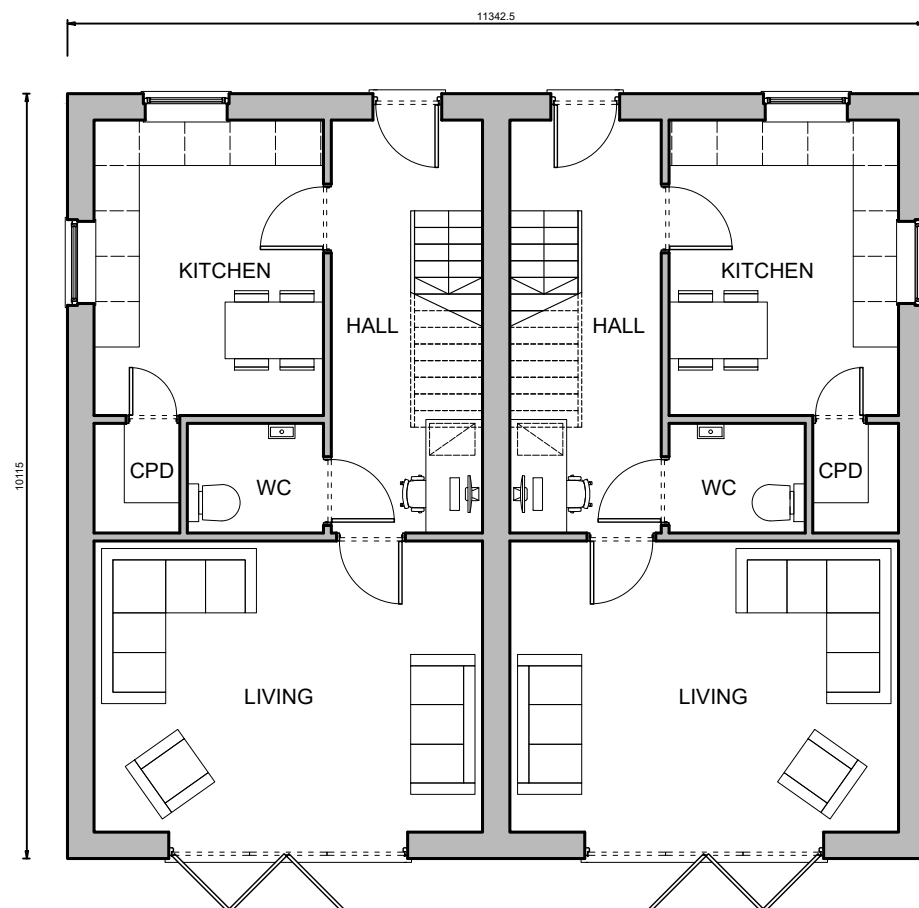
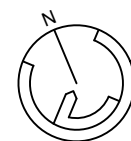


Side Elevation

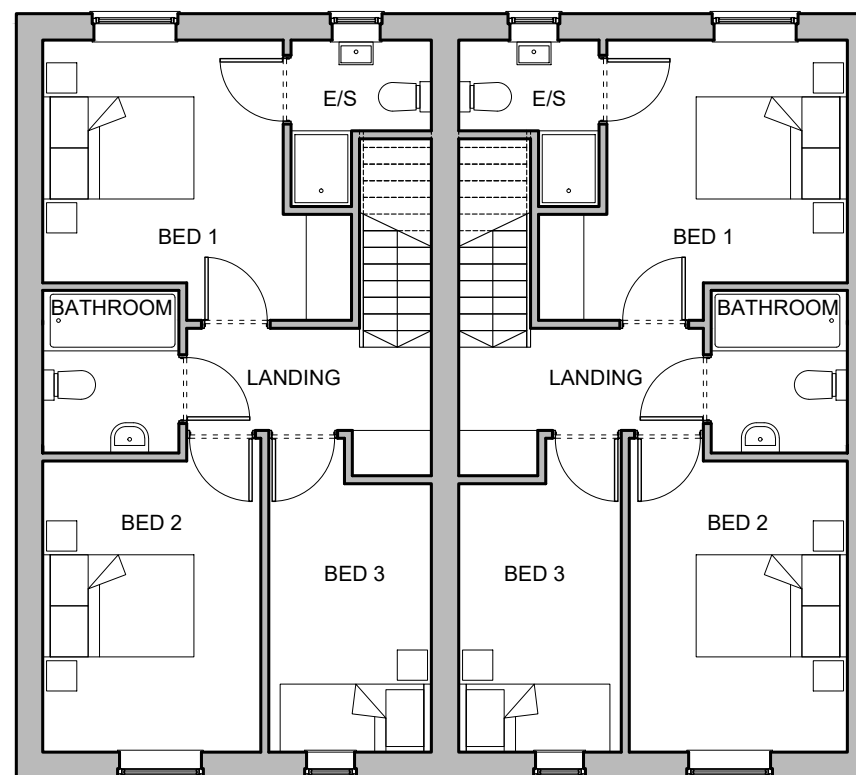
05	21.02.23	Issued for planning
04	06.06.22	Dimensions added
03	25.04.22	Issued for planning
02	18.03.22	Issued for information
01	03.02.02	Issued for information
00	27.01.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 01 & 02   Elevations	
DRAWING NUMBER: 0025-311	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
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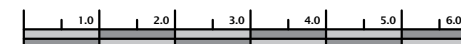
Ground Floor Plan



First Floor Plan

06	21.02.23	Issued for planning
05	06.06.22	Dimensions added
04	25.04.22	Issued for planning
03	18.03.22	Issued for information
02	03.02.22	Issued for information
01	27.01.22	Updated with changes to elevations
00	21.01.22	Issued for information
REV:	DATE:	UPDATES:

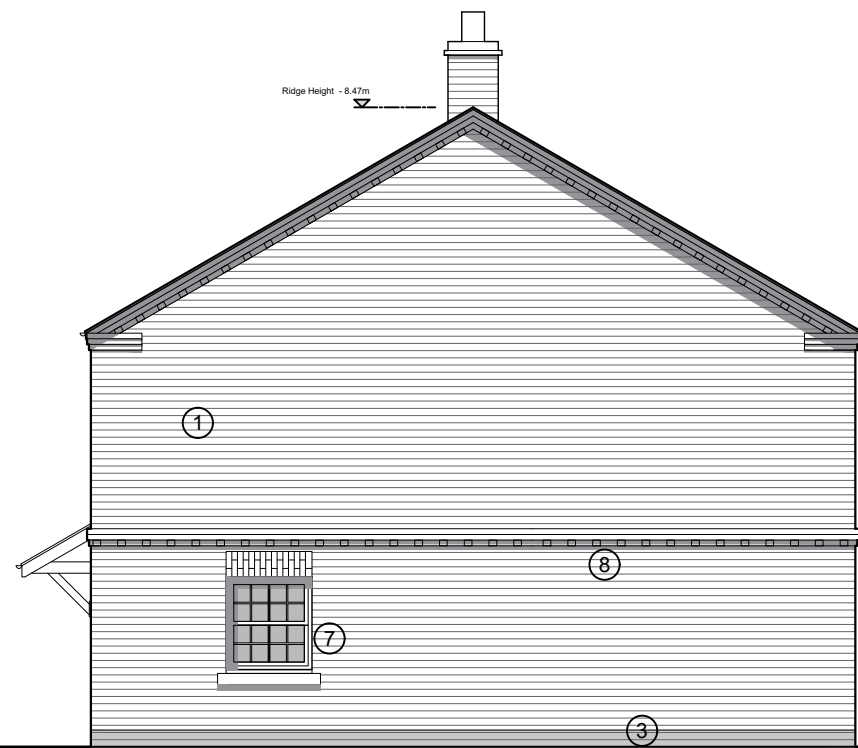
DRAWING TITLE: Unit 03 & 04   Floor Plans	
DRAWING NUMBER: 0025-110	REVISION: 06
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



- Material Key**
1. Red brick
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  3. Painted brick (Black)
  4. Render
  5. Composite front door
  6. Concrete tiles
  7. Coloured UPVC windows & doors
  8. Brick header detail
  9. Brick string course
  10. Brick eaves & verge detail
  11. Exposed rafter feet to eaves & fascia board to verge
  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



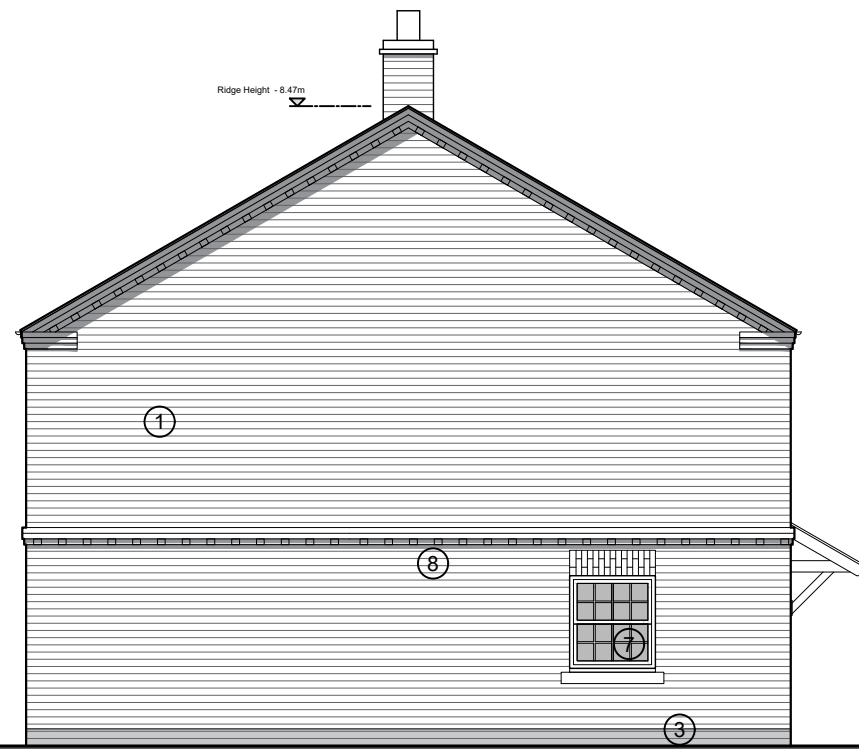
Front Elevation



Side Elevation



Rear Elevation

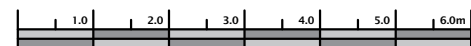


Side Elevation

REV:	DATE:	UPDATES:
05	21.02.23	Issued for planning
04	06.06.22	Dimensions added
03	25.04.22	Issued for planning
02	18.03.22	Issued for information
01	03.02.22	Issued for information
00	27.01.22	Issued for information

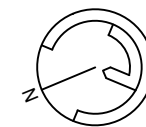
DRAWING TITLE: Unit 03 & 04   Elevations	
DRAWING NUMBER: 0025-310	REVISION: 05
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

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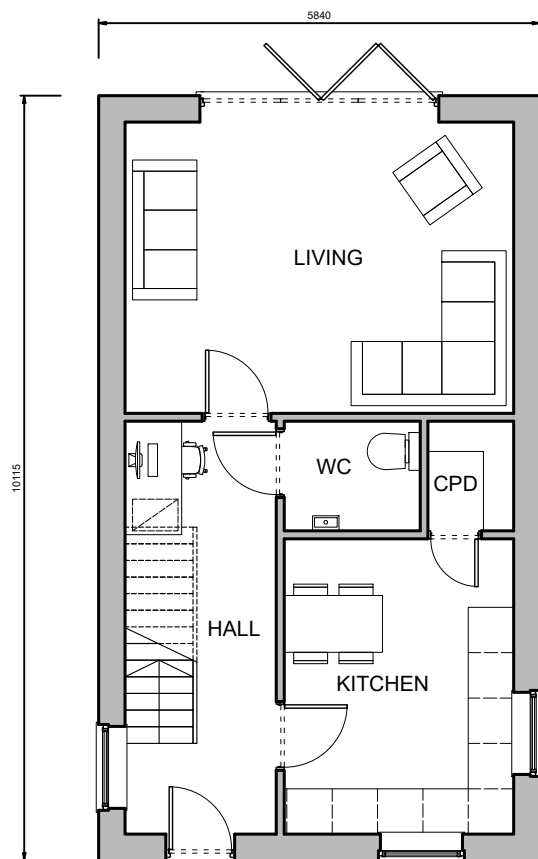
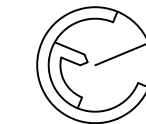




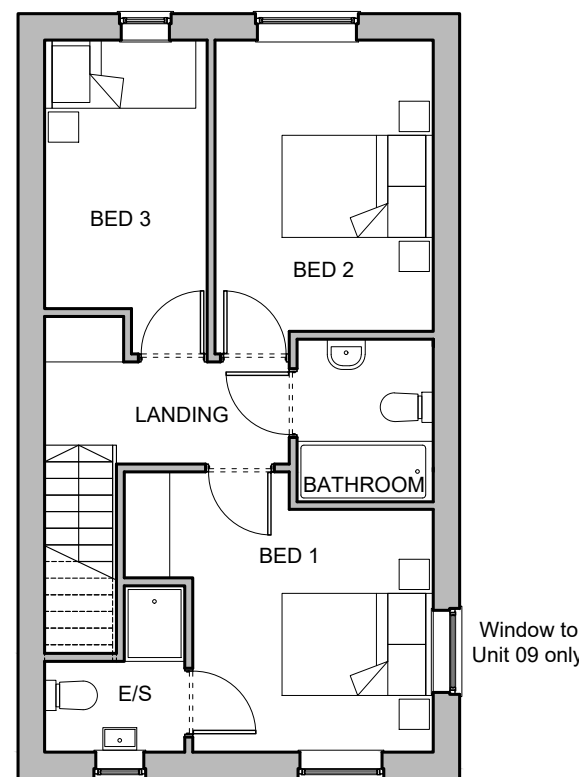
Unit 09 north point



Unit 15 north point



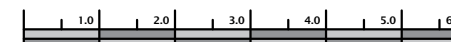
Ground Floor Plan



First Floor Plan

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

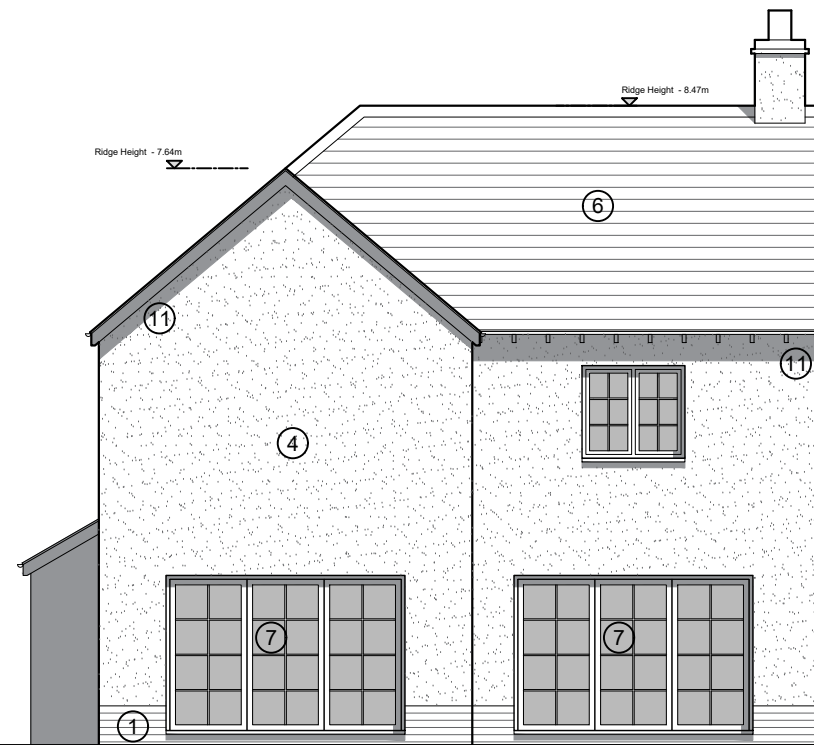
DRAWING TITLE: Units 09 & 15   Floor Plans	
DRAWING NUMBER: 0025-114	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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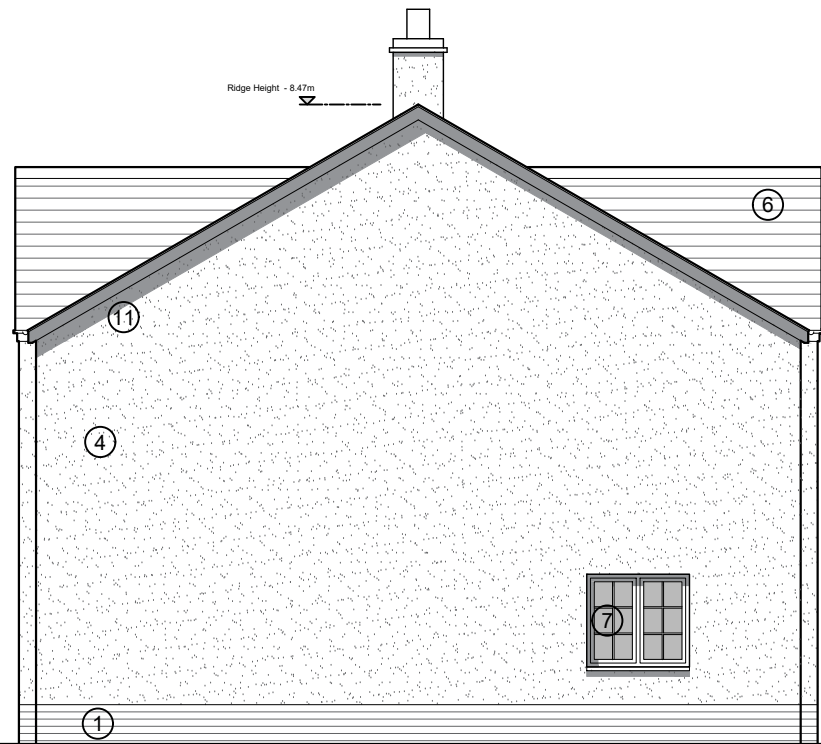
- Material Key**
1. Red brick
  2. Buff brick
  3. Painted brick (Black)
  4. Render
  5. Composite front door
  6. Concrete tiles
  7. Coloured UPVC windows & doors
  8. Brick header detail
  9. Brick string course
  10. Brick eaves & verge detail
  11. Exposed rafter feet to eaves & fascia board to verge
  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



Front Elevation



Side Elevation



Rear Elevation

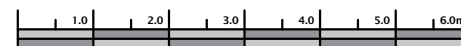


Side Elevation

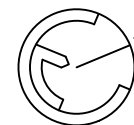
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REV:	DATE:	UPDATES:

DRAWING TITLE: Units 05 & 06   Elevations	
DRAWING NUMBER: 0025-321	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
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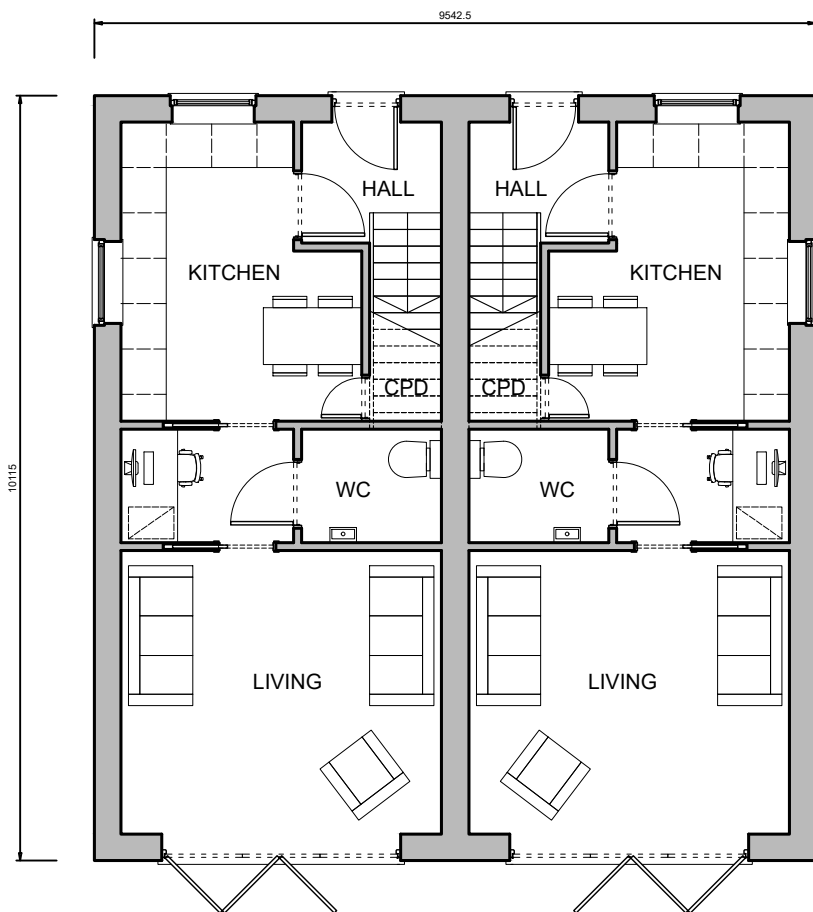
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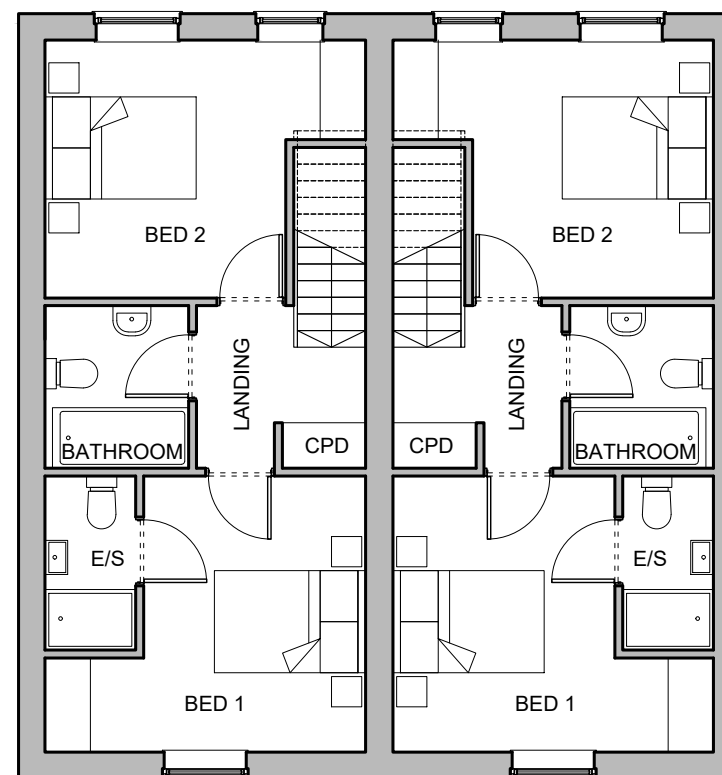
Units 07 & 08 north point



Units 13 & 14 north point



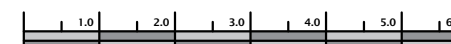
Ground Floor Plan



First Floor Plan

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.22	Issued for information
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 07, 08, 13 & 14   Floor Plans	
DRAWING NUMBER: 0025-113	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
DO NOT SCALE EXCEPT FOR PLANNING PURPOSES. USE ONLY DIMENSIONS GIVEN. PLEASE READ THIS DRAWING IN CONJUNCTION WITH ALL OTHER RELEVANT PROJECT DRAWINGS, SCHEDULES AND SPECIFICATIONS	



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  12. Pitched roof canopy with gallows brackets
  13. Painted timber detail to door sides with flat roof canopy
  14. Open brick porch with pitched roof
  15. Stone window sill



Front Elevation



Side Elevation



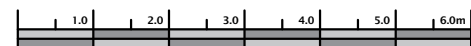
Rear Elevation



Side Elevation

04	21.02.23	Issued for planning
03	06.06.22	Dimensions added
02	25.04.22	Issued for planning
01	18.03.22	Issued for information
00	03.02.02	Issued for information
REV:	DATE:	UPDATES:

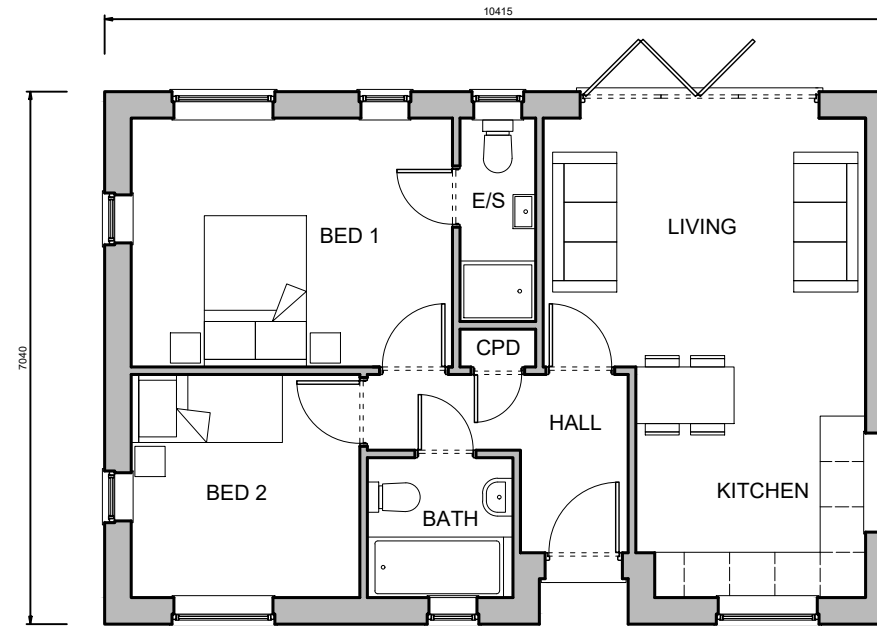
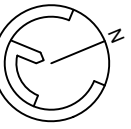
DRAWING TITLE: Units 07 & 08   Elevations	
DRAWING NUMBER: 0025-313	REVISION: 04
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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Unit 10 north point



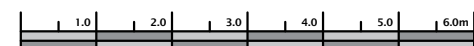
Unit 12 north point



Ground Floor Plan (Bungalow)

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 10 & 12   Floor Plans	
DRAWING NUMBER: 0025-117	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3
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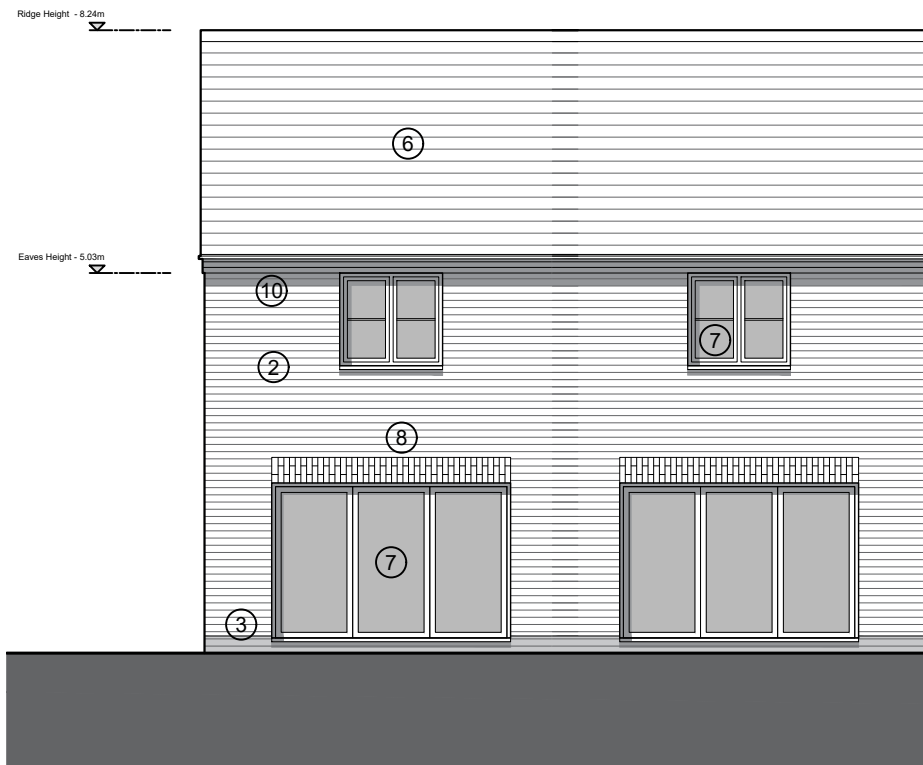
- Material Key**
1. Red brick
  2. Buff brick
  3. Painted brick (Black)
  4. Render
  5. Composite front door
  6. Concrete tiles
  7. Coloured UPVC windows & doors
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  14. Open brick porch with pitched roof
  15. Stone window sill



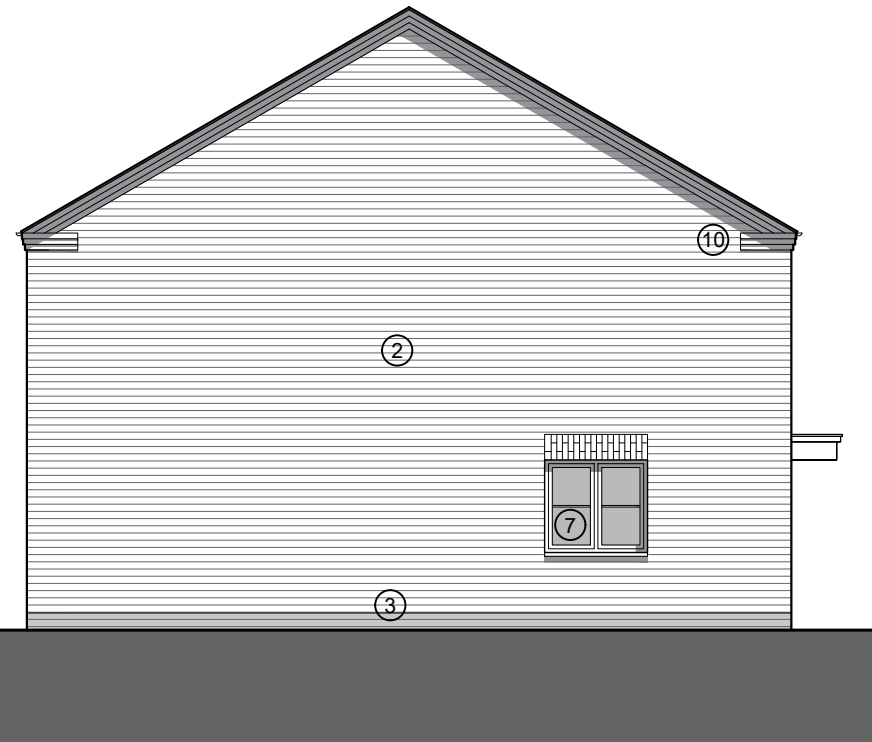
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

00	21.02.23	Issued for planning
REV:	DATE:	UPDATES:

DRAWING TITLE: Units 13 & 14   Elevations	
DRAWING NUMBER: 0025-323	REVISION: 00
PROJECT NAME: High Street, Spaldwick	
SITE ADDRESS: High Street Spaldwick Huntingdonshire PE28 0TD	
CLIENT: Blenheim Land & Homes Ltd	
SCALE: 1:100	PAPER SIZE: A3

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